

PROPOSED BAR, RESTAURANT & AMENITIES

LIMESTONE PACIFIC PTY LTD

THE STATION - WESTERN PRECINCT

TED000036

SHEET LIST			
SHT NO.	SHEET NAME	REV	DATE
A00.01	COVER PAGE	H	04.07.23
A00.02	GENERAL NOTES	B	04.07.23
A00.03	SAFETY IN DESIGN RISK ASSESSMENT	B	04.07.23
A01.01	SITE PLAN	H	04.07.23
A01.02	SITE PLAN - EAST	C	04.07.23
A01.03	SITE PLAN - WEST	C	04.07.23
A01.04	TURNING CIRCLES	C	04.07.23
A02.01	FLOOR PLAN - BAR & RESTAURANT	H	04.07.23
A02.02	FLOOR PLAN - AMENITIES BUILDING	G	04.07.23
A02.03	FLOOR LEVEL - LIQUOR LICENSING AREA PLAN	C	04.07.23
A02.04	SLAB & BLOCKWORK LAYOUT PLAN- BAR & RESTURANT	H	04.07.23
A02.05	SLAB & BLOCKWORK LAYOUT PLAN- AMENITIES	H	04.07.23
A02.06	REFLECTED CEILING PLAN - BAR & RESTAURANT	B	04.07.23
A02.07	REFLECTED CEILING PLAN - AMENITIES BUILDING	B	04.07.23

SHEET LIST			
SHT NO.	SHEET NAME	REV	DATE
A02.08	ROOF PLAN - BAR & RESTAURANT	B	04.07.23
A02.09	ROOF PLAN - AMENITIES BUILDING	B	04.07.23
A02.10	PLUMBING PLAN - BAR & RESTAURANT	C	04.07.23
A02.11	PLUMBING PLAN - AMENITIES	C	04.07.23
A04.01	ELEVATIONS	E	04.07.23
A04.02	ELEVATIONS	E	04.07.23
A05.01	SECTIONS	C	04.07.23
A05.02	SECTIONS	C	04.07.23
A05.03	SECTIONS	C	04.07.23
A05.04	SECTIONS	C	04.07.23
A06.01	3D VIEWS	H	04.07.23
A06.02	3D VIEWS	H	04.07.23
A06.03	3D VIEWS	H	04.07.23

SHEET LIST			
SHT NO.	SHEET NAME	REV	DATE
A07.01	DETAILS	C	04.07.23
A07.03	SHADE STRUCTURE	A	04.07.23
A07.04	STAIR & RAMP DETAILS	B	04.07.23
A07.05	STAGE DETAILS	A	04.07.23
A08.01	WINDOW SCHEDULE & ELEVATIONS	B	04.07.23
A09.01	DOOR SCHEDULE & ELEVATIONS	B	04.07.23
A10.01	WET AREA ELEVATIONS	A	04.07.23
A10.02	WET AREA ELEVATIONS	A	04.07.23



PROJECT NOTES

- Local Government Authority

Building Use

Building Classification

Climate Zone

Construction Type
- Livingstone Shire Council

- Hotel / Bar / Cafe

- Class 6

- Climate Zone 2

- Type C Construction

CONSULTANTS

Structural Engineering - Dileigh Consulting Engineers

Soil Testing - TBC

Energy Assesor - Green at Heart

Surveying - Capricorn Survey Group

GENERAL NOTES

- All works to be carried out in accordance with Building Act 1975, building regulations 2021, National Construction Codes (NCC) and relevant Australian Standards
- The builder and subcontractor to verify all existing conditions, relevant levels and dimensions on-site prior to commencing any building works or prefabrication. If discrepancies are found they should be reported to this office immediately
- This drawing shall be read in conjunction with all consultants documentation.
- DO NOT SCALE PLANS, use figured dimensions only
- These drawings are not to be used for construction unless issued 'For Construction' and approved and endorsed by a building certifier.

- All materials & methods of construction shall comply with relevant SAA codes, NCC and local council by- laws.
- All works shall comply to Australian Standards (not limited to the following):

- AS1288 - glass in buildings: selection and installation
- AS1562 - design and installation of sheet roof and wall cladding
- AS1684 - national timber framing code
- AS1860 - installation of particleboard flooring
- AS2049 - roof tiles
- AS2050 - fixing of roof tiles
- AS2870 - residential slabs and footings
- AS2904 - damp proof courses and flashings
- AS3600 - concrete structures
- AS3660.1 - code of practice for physical barriers used in the protection of buildings against subterranean termites
- AS3700 - masonry in buildings
- AS3786 - smoke alarms
- AS4055 - wind loadings for housing
- AS4100 - steel structures
- AS4654 - waterproofing membranes for external above ground use
- AS4586 - slip resistance classification of new pedestrian surface material

ARTICULATION JOINTS

- Articulation joints are to comply with AS3700 and the NCC (minimum every 6m centres

BUSHFIRE ATTACK LEVEL

- BAL (bushfire attack level) classification is to be determined by bushfire assessment report bal level & requirements to be incorporated onto plans (where required)

CEILING HEIGHTS

- Ceiling heights, must be not less than:
 - a. 2.4m in a habitable room excluding a kitchen
 - b. 2.1m in a kitchen, corridor, passageway or the like, bathroom, shower room, laundry, sanitary compartment, airlock, pantry, storeroom, garage, car parking area or the like
 - c. 2.1m in an attic room with a sloping ceiling or
 - d. Projection below ceiling line or
 - e. A non-habitable room or similar space-height that does not unduly interfere with the proper function of the room or space
 - f. 2.0m in a stairway measured vertically above the nosing line.

CONCRETE

- All concrete material and workmanship shall be in accordance AS3600 - 2001 concrete structures code
- All concrete shall be cured in accordance with AS3600- 2001
- All works to be in accordance with as 2870-2011 & NCC V2 part 3.2
- Owners must recognise their responsibilities noted in AS2870 - 2011 amendment 4 and more detail in CSIRO publication "guide to homeowners on foundation maintenance and performance"
- Reinforced concrete slab and footings to engineers design

CONTOUR LEVELS

- Contour levels (relative levels) and legal point of discharge to be determined prior to construction.
- Where a survey is provided/ undertaken all heights nominated are shown in Australian Height Datum (AHD) u.n.o

DIAL BEFORE YOU DIG



It is the contractors responsibility to contact 'Dial Before You Dig' Phone 1100 for the location of existing public utilities prior to any excavation.

DRAINAGE

- Connect stormwater and waste water drains into legal points of discharge. All drains shall comply with local authorities regulations and AS3500.3-1998
- All existing underground services are to be located prior to excavation for new pipes lines and no existing service shall be disconnected or disturbed without approval from engineer.
- All upvc pipes shall conform to AS1260 'unplasticised p.v.c.(upvc) pipes and fittings for sewage applications' part 1 to 5.
- The site should be drained so that the water cannot pond against or near the building. The ground immediately adjacent to the building should be graded to fall 50mm over the first meter. Where this is impracticable (i.e. Several sloping sites) use aggie drains adjacent to the footings where the ground falls towards the building.

DRIVEWAY

- The maximum gradient of the driveway shall not exceed 1:8

- All driveways and parking areas to comply with AS2890.1 2004 'parking facilities'. For practicality the maximum gradient of the driveway shall not exceed 1:8 (12.5%) and 1:20 (5%) across council footpaths.

EXCAVATIONS

- All excavations should be carefully inspected by a competent person and the structural engineer should be contacted immediately if conditions other than those described in the soil report are encountered.

EXHAUST FAN

- Provide mechanical ventilation in accordance with NCC part 3.8.5
- Exhaust fans are to be discharged to outside air.

EXPOSED STEEL

- All exposed steel to be hot dipped galvanised.
- All external steel lintels are to be hot dipped galvanized and the wall ties provided are to be stainless steel as per part 3.4.4 & table 3.4.4.2 of the NCC.
- For buildings in close proximity to the sea, ensure that all steelworks, brick cavity ties and steel lintels, etc. That are embedded or fixed into masonry be protected in accordance with AS1650 or AS3700 - 2011, hot dipped galvanised stainless steel or cadmium coated

ENERGY EFFICIENCY

- The works are to be carried out in accordance with energy report, endorsed plans and must comply with NCC V1 Sections J & the QDC MP4.1
- Windows & doors to be sealed in accordance with NCC section J3.4.
- All building envelope insulation must be installed in accordance with clause J1.2, manufacturer's specifications and AS4859.1
- External glazing must be installed in accordance with J2.4 - Method 2.

- Compliance is required in accordance withpart 3.12.5 of the NCC inclusive of artificial lighting compliance (class1 building 5 w/m2 - verandah or balcony At tached to class 1.4 w/m2 - class 10 building 3 w/m2).

FRAMELESS GLASS BALUSTRADING

- If selected & prior to installation, provide details/manufactures specifications for the frameless glass balustrading including the method of fixing the glass. All glazed balustrade panels are to be shown to comply with AS1170.1 (clause 3.6 and table 3.3).
- If selected, provide details/manufactures specifications for the balcony/internal staircase frameless glass balustrading including the method of fixing the glass. The glazed panels are to be shown to comply with AS1288 section 7 clauses 7.3.2 to 7.3.6 and or AS1170.1 (clause 3.6 and table 3.3)

FLASHINGS

- All flashing to be installed in accordance with AS2904

FIRE PLACE

- Fire places to be constructed in accordance with part 3.7.3 of the NCC

HANDRAILS

- A handrail is to be provided along at least one side of the internal stairs. The top surface of the handrail is to be not less than 865mm vertically above the nosing of the stair treads and have no obstruction on or above.

INSULATION

- Provide insulation to walls and ceilings as per energy report.
- R-values: refer to energy report

JOINERY

- Joinery Includes - Manufactured casework items, including: cabinets and cupboards.
- Cabinet maker & builder to co-ordinate all appliance and equipment locations.
- Cabinet maker to confirm all appliance and equipment tolerances and requirements in joinery prior to fabrication.
- All joinery to be site measured once linings are in place: confirm any discrepancies prior to fabrication.

LIGHTING

- Mains electricly supply, telstra and others to be located in accordance with the responsible authorities requirements.
- All electrical switches and points shall be installed in accordance with AS3000, NCC and electrical authorities requirements. Provide safety switches (rcd) to all lighting and power point circuits
- Artificial lighting compliance required as follows (class 1 building 5 w/m2 - verandah or balcony attached to class 1.4 w/m2 - class 10 building 3 w/m2).

LIFT OFF HINGES

- Removable hinges to be provided to powder rooms, wc's, ensuites and bathrooms where door swings inward and is less then 1.2m from hinge side of doorway

NATURAL LIGHTING AND VENTILATION

- Compliance with 3.8.4 & 3.8.5: With light (10% of floor area) and ventilation (8% of room floor area). Provide exhaust fans to bathrooms, laundry, ensuites, wc, powder rooms where ventilation is not achieved

PROTECTION OF OPENABLE WINDOWS

- A window opening must be provided with protection, if the floor below the window in a bedroom is 2 m or more above the surface beneath. Where the lowest level of the window opening is less than 17 m above the floor, a window opening covered by (a) must (a) not permit a 125 mm sphere to pass through the window opening or screen, and (b) resist an outward horizontal action of 250n against the (aa) window restrained by a device, or (bb) screen protecting the opening, and (c) have a child resistant release mechanism if the screen or device is able to be removed, unlocked or overridden.

ROOFING

- Fall, pitch and profile of the roof to be installed in accordance with the nominated pitches on the plans
- Roof sheeting, downpipes and flashings etc to be installed to manufacturers specifications and in accordance with the NCC.
- Fall prevention anchor points to comply with NCC Clause DP3 & AS2626
- Timber roof framing is to comply with AS1684: residential timber framed construction' and with any supplementary tables.
- Exposed colorbond gutters and fascias, installed per NCC part 3.5.2
- Stormwater drainage to comply with AS/NZS3500.3 - 2018
- Temporary downpipes will be installed during the construction

STAIRS

- Stairs, nosing balustrading stairs, steps & landings to comply with NCC Part 3.9.
- Handrail to be 865mm above nosing of tread, 1000mm high balustrading & 865 above stair nosing, 125mm maximum between balusters.
- Maximum 3 risers or 570mm without a landing to door opening.
- Maximum gap between risers in open stairs is 125mm where the stair is in excess of 1000mm above the adjacent floor level.
- If any part of raised flooring (decks included) have a finished floor level greater than 1m from the finished ground level, a balustrade will need to be provided to the perimeter of the deck at a minimum height of 1000mm from the deck level and a maximum gap of 125mm between balustrades.

SMOKE ALARMS

- Fire places to comply with AS3786. Smoke alarms to be installed in accordance with NCC part 3.7.2. Smoke alarms must be connected directly to mains powers smoke alarms must be interconnected

SOIL CONDITIONS

- Refer to soil report for soil classifications and founding depths

SURFACE DRAINAGE

- The ground beneath suspended floors must be graded so that the area beneath the building is above the adjacent external finished ground level and surface water is prevented from ponding under the building.
- Unless otherwise note, all batters to excavations to be at 45° max. Provide 1000mm clear from base of cut to building and/or retaining walls and grade away from building and/or retaining walls within 120 mminal fall.

SUB-FLOOR

- Sub-floor ventilation is to be installed at a minimum of every 6000mm² per meter run of wall in compliance with part 3.4.1 of the NCC.
- The sub-floor access door is to be located in a readily accessible position.

TREADS TO STAIRS

- All treads are to have a non-slip finish or a non-slip strip is to be provided to the nosing. Treads must have the following in accordance with clause 3.9.13 g) i) a surface with a slip-resistance classification not less than that listed in table 3.9.11 when tested in accordance with as 4586, or (ii) a nosing strip with a slip-resistance classification not less than that listed in table 3.9.11 when tested in accordance with as 4586.

TERMITE TREATMENT

- Where required the site is to be treated against subterranean termites in accordance with as 3660.1 to local authorities satisfaction as 3660.1 termite management requires a minimum of 400mm clearance from ground level to the underside of the bearer (this can be reduced to 200mm on a particleboard floor over the first 2m on a sloping site provide clearance from under side of bearers to finished ground level of 150mm for floor with strip footing or 200mm for floors with particle board flooring

WET AREAS .

- To comply with AS3740
- Provide impervious floor & wall finishes to all wet areas in accordance with NCC part 3.8.1.2.
- All wet areas to comply with the NCC part 3.8.1 & AS3740 where the shower is not an enclosed shower, within 15m of the shower fitting, to a height of 1.8m above the floor.
- Vertical of floor to shower enclosures and 150mm above baths,basins, sinks and troughs if within 75mm from wall. Provide impervious floor coverings to all wet areas to the satisfaction of the building surveyor

WEEP HOLES

- Weep-holes to brickwork must be provided in the course immediately above any damp proof course or flashing at centers not exceeding 1.2m.

WINDOWS/ GLAZING

- All windows shall conform to AS2047 and all glazing to AS1288 & NCC part 3.6.
- Glazing within 2000mm of the ffl in bathrooms or ensuites is to be grade a safety glass all sizes shown are nominal and should be compared to manufactures standard schedule before construction commences.
- Non-standard windows to have sizes checked on site prior to manufacturing refer to elevations for sash arrangement.
- All window sizes & clearances to be checked on site prior to manufacturing insulation: grade a safety glass is required to all glazing in bathrooms, ensuites, spa rooms, shower doors, shower screens, bath enclosures, and associated windows, where the lowest sight line is less than 2.0 m above the highest existing finished level of the floor, bottom of the bath, or shower base please note that windows capable of being mistaken for a doorway or opening and greater then 500mm in width, 1m in height and within 700mm of the finished floor are to be provided with a mid-height molf within its panel in accordance with part 3.6.4.6 of the NCC.

- Safety glass to be used in the following cases:
- i) all rooms - within 500mm vertical of the floor
 - ii) bathrooms - within 2000mm vertical of the bath base
 - iii) laundry - within 1200mm vertical of the floor and/or within 300mm horizontal from doors
 - iv) doorway - within 300mm horizontal from all doors
 - v) shower screens shall be grade a safety glass

Copyright © TIM ENGLISH DESIGN

The information contained in this document is subject to the terms and conditions of the engagement agreement under which the documentation was supplied to the recipient.
None of the information within this document and no part of this document shall be:
a) disclosed outside the recipient's own organisation
b) reproduced in any way without the prior written permission of TIM ENGLISH DESIGN



QBCC# 15266903

REV	DESCRIPTION	DATE	INITIAL
A	BUILDING APPROVAL	05.05.23	TJE
B	CONSTRUCTION ISSUE	06.07.23	TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD

THE STATION - WESTERN PRECINCT

GENERAL NOTES



DRAWN BY: TJE	CHECKED BY: TJE	DATE: 18/04/23
SCALE: 1 : 100	AT A3	
DRAWING No: TED00036	SHEET No: A00.02	REVISION: B

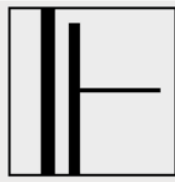
Risk Assessment	
This risk assessment has been conducted based on the following assumptions:	
1. The owner of the site has provided access to all relevant information that is available or can be obtained in relation to the physical and legal characteristics of the site	
2. Persons required to perform construction tasks are appropriately trained and fit to perform the assigned activities.	
3. Safe building practices are used	
4. The construction site and access to the site is safe for all persons and property involved in the construction.	
5. The site is maintained in a clean state and exit paths are maintained clear of obstructions.	
6. Advise provided by consultants is carried out as per the consultants intent and detailed documentation.	
7. Any issue that requires clarification or amendment is agreed with the relevant consultant.	
8. Persons required to perform maintenance and operational tasks are appropriately trained and fit to perform the assigned activities	
9. There is adequate supervision of minors to minimise risk or injury to persons or damage to property due to wilful acts and accidents.	
10. The building, landscape, car park, facilities, equipment and building surrounds are maintained in a safe and clean state.	
11. Exit paths are maintained clear of obstructions.	

Rating Matrix		Consequences				
Likelihood		Insignificant	Minor	Moderate	Major	Extreme
How likely is it to happen?		No treatment required	First aid treatment only, contained at site	Medical treatment contained but with outside help	Extensive injuries, loss of production	Death, irreversible damage
Almost Certain	Expected in most circumstances	HIGH	HIGH	EXTREME	EXTREME	EXTREME
Likely	Will occur in most circumstances	MED	HIGH	HIGH	EXTREME	EXTREME
Possible	Might occur at some time	LOW	MED	HIGH	EXTREME	EXTREME
Unlikely	Could occur at some time	LOW	LOW	MED	HIGH	EXTREME
Rare	May occur only in exceptional circumstances	LOW	LOW	MED	HIGH	HIGH

Key	
LOW	Manage by routine procedures
MED	Research and planning required with client and project/consultant team involvement in solution or outcome.
HIGH	Research and planning required with project director, client and project/consultant team involvement in solution or outcome.
EXTREME	Detailed research and planning required with client and project/consultant team involvement in solution or outcome.

Item / Issue	Design	Risk		Construction	Risk		Occupancy and Maintenance	Risk		Demolition	Risk		Residual Risk
Existing Vegetation	Action			Action			Action			Action			
	Investigate requirements of any protected vegetation. Nominate vegetation to be removed and retained	LOW		Protect trees to be retained to AS4670. Reduce any identified hazards by pruning trees to AS4373. Use only approved methods of removal. Implement safe work practices when removing existing vegetation including the use of appropriate personal protective equipment (PPE)	HIGH		Monitor health of all trees and carry out regular maintenance to eliminate hazards. Monitor areas around trees to eliminate hazards from branches, leaves, flowers, fruit, etc.	LOW		Reduce any identified hazards by pruning trees to AS4373. Use only approved methods of removal. Implement safe work practices when removing existing vegetation including the use of appropriate personal protective equipment (PPE)	HIGH		LOW
Responsibility	Arborist			Builder, Sub-contractors, Arborist			Owner/ Occupier			Builder, Sub-contractors, Arborist			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			
Services	Action			Action			Action			Action			
	Survey of existing service locations provided to consultants. Consultants to seek information required	HIGH		Contact Dial Before You Dig. Utilise survey data and existing records	HIGH		Contractor to provide owner with 'As Constructed' information. Owner / Occupier to provide service location data	LOW		Demolition contractor be provided with and seek available services information. Demolition contractor to ensure services are decommissioned prior to demolition	LOW		LOW
Responsibility	Consultants			Builder, Sub-contractors			Owner / Occupier, Contractor			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			
Existing Contaminants in Ground	Action			Action			Action			Action			
	Owner to make consultants aware of any known or potential hazards on site. Commission appropriate remedial report if required	HIGH		Seek all necessary permits or approvals to remove or treat hazardous materials. Implement safe work practices suited to site conditions. Monitor removal of hazardous materials	HIGH		Owner / Occupier to be made aware of specific requirements related to any hazardous material remaining on-site. Implement safe work practices suited to site conditions	LOW		Seek all necessary permits or approvals to remove or treat hazardous materials. Implement safe work practices suited to site conditions. Monitor removal of hazardous materials	HIGH		LOW
Responsibility	Owner, Consultants			Builder, Sub-contractors			Owner / Occupier			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			
Earthworks	Action			Action			Action			Action			
	Consider access, cut/fill balance and buildability	HIGH		Implement safe work practices suited to site conditions	HIGH		N/A			Implement safe work practices to suit site conditions	LOW		LOW
Responsibility	Civil Engineer, Landscape Designer			Builder, Sub-contractors						Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors						Builder, Sub-contractors, Consultants & Site Visitors			
Planting	Action			Action			Action			Action			
	Consider safety in plant selection such as proximity to people, thorns, falling plant material, allergens, insects and plant toxicity. Locate plants to avoid impact on services or structures. Adequately protect services and structures	LOW		Implement safe work practices suited to the size and type of plant material being handled. Implement planting design as documented. Implement safe work practices including the use of appropriate personal protective equipment (PPE)	LOW		Implement safe work practices including the use of appropriate PPE. Implement a maintenance regime that minimises or eliminates risks posed by vegetation. Implement a maintenance regime over vegetation that retains sightlines, minimises the potential for pedestrian/vehicle conflict and maintains personal security	LOW		Implement safe work practices including the use of appropriate personal protective equipment (PPE)	LOW		LOW
Responsibility	Landscape Designer			Builder, Sub-contractors			Owner / Occupier			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			
Turfing and Grassing	Action			Action			Action			Action			
	Consider gradients of turfed or grassed areas. Turf to be avoided in high traffic areas. Avoid turfed areas exceeding 14% gradient. Minimise potential for gravel or stone to migrate into turfed areas	LOW		Implement safe work practices while laying and maintaining turf including the use of appropriate personal protective equipment (PPE)	LOW		Implement safe work practices including the use of appropriate personal protective equipment (PPE). Remove stones and other potential projectiles from turfed and grassed areas prior to mowing	LOW		Implement safe work practices including the use of appropriate personal protective equipment (PPE)	LOW		LOW
Responsibility	Landscape Designer			Builder, Sub-contractors			Owner / Occupier			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			
Retaining Walls	Action			Action			Action			Action			
	Consider the risk of falls in locating retaining walls. All retaining walls over 1m in height to be protected by a suitable barrier complying with the Building Code Part 3.91. All retaining walls over 1m in height to be designed or certified by a structural engineer	EXTREME		Implement safe work practices while laying and maintaining turf including the use of appropriate personal protective equipment (PPE). Provide adequate temporary barriers or fencing until permanent barriers are constructed	HIGH		Monitor the condition of retaining walls. Maintain retaining walls in good condition to eliminate the risk of collapse or falls	LOW		Implement safe work practices including the use of appropriate personal protective equipment (PPE)	HIGH		LOW
Responsibility	Landscape Designer, Structural Engineer, Certifier			Builder, Sub-contractors			Owner / Occupier			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			
Handrails	Action			Action			Action			Action			
	Appropriate for the purpose and function and structurally sound. Fences and balustrades protecting against falls over 1m shall comply with the Building Code Part 3.91. Fence design should minimise any potential for entrapment	EXTREME		Implement safe work practices while laying and maintaining turf including the use of appropriate personal protective equipment (PPE)	HIGH		Monitor the condition of handrails. Maintain handrails in good condition to eliminate the risk of collapse or falls	LOW		Implement safe work practices including the use of appropriate personal protective equipment (PPE)	HIGH		LOW
Responsibility	Landscape Designer, Certifier			Builder, Sub-contractors			Owner / Occupier			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			

Item / Issue	Design	Risk		Construction	Risk		Occupancy and Maintenance	Risk		Demolition	Risk		Residual Risk
Pavements	Action			Action			Action			Action			
	Consider the safety of paved surfaces in design. Design of pathways, ramps and walkways to meet AS1428.1 or AS1428.2. Slip resistance to meet AS4586. Tactile Indicators to meet AS1428.4. Structural design of pavements should suit ground and site conditions. Joints in pavements must be designed to control cracking and must not produce trip hazards. Service pits and covers must match the slip resistance of the surrounding pavement. Pavements must not be excessively hot or glary. Pavements must drain adequately	HIGH		Construct pavements as detailed and specified			Maintain pavements in a safe condition fit for use including the maintenance of slip resistance, tactics, and the elimination of slip or trip hazards	LOW		Implement safe work practices including the use of appropriate personal protective equipment (PPE)			
Responsibility	Landscape Designer, Structural Engineer, Certifier			Builder, Sub-contractors			Owner / Occupier			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			
Steps	Action			Action			Action			Action			
	Consider safety of steps in design. Steps to comply with the requirements of the Building Code Part 3.91. Handrails to meet the requirements of AS1428.1 or AS1428.2. Slip resistance to meet AS4586. Tactile indicators to meet AS1428.4. Structural design of steps should suit ground and site conditions	EXTREME		Construct steps as detailed and specified			Maintain steps in a safe condition fit for use including the maintenance of slip resistance, tactics, and the elimination of slip or trip hazards	LOW		Implement safe work practices including the use of appropriate personal protective equipment (PPE)			
Responsibility	Landscape Designer, Structural Engineer, Certifier			Builder, Sub-contractors			Owner / Occupier			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			
Lighting	Action			Action			Action			Action			
	Lighting in public areas to comply with AS1588. Lighting to consider personal safety and CPTED	HIGH		Install lighting as specified. Seek all required approvals. Implement safe work practices including the use of appropriate personal protective equipment (PPE)	LOW		Maintain lights in a safe condition fit for use. Maintain vegetation so that it does not obscure lighting	LOW		Implement safe work practices including the use of appropriate personal protective equipment (PPE)	LOW		LOW
Responsibility	Landscape Designer, Electrical Consultant			Builder, Sub-contractors			Owner / Occupier			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			
Balustrades	Action			Action			Action			Action			
	Balustrades to comply with Building Code. Balustrades to consider fixing method and structural integrity	EXTREME		Install balustrades as specified. Seek all required approvals. Implement safe work practices including the use of appropriate personal protective equipment (PPE) and safety balustrades	MEDIUM		Review balustrade condition on regular basis. Review balustrade fixing integrity on regular basis	LOW		Implement safe work practices including the use of appropriate personal protective equipment (PPE) and safety balustrades	MEDIUM		LOW
Responsibility	Designer, Builder			Builder, Sub-contractors			Owner / Occupier			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			
Working at Heights	Action			Action			Action			Action			
	Fall prevention anchors to be provided in accordance with NCC Clause DP3 & AS1606-1983	EXTREME		Utilise fall prevention equipment and PPE including harness, scaffolding and barriers. Where possible always work from a flat surface	MEDIUM		Utilise fall prevention PPE and scaffolding where required	LOW		Implement safe work practices including the use of appropriate personal protective equipment (PPE) and safety balustrades	MEDIUM		LOW
Responsibility	Designer, Builder			Builder, Sub-contractors			Owner / Occupier			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			
Falling Objects	Action			Action			Action			Action			
	Locate all plant on ground level or within a designated level plant room	EXTREME		Use appropriate barriers and signage to ensure contractors are not working underneath a working area (including crane). Hard hats to be worn along with standard PPE	MEDIUM		Review condition of elements located above head height on a regular basis and ensure maintenance is carried out accordingly	LOW		Implement safe work practices including the use of appropriate personal protective equipment (PPE) and safety balustrades	MEDIUM		LOW
Responsibility	Designer, Builder			Builder, Sub-contractors			Owner / Occupier			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			
Traffic	Action			Action			Action			Action			
	Access driveways are to be designed in accordance with CMDG	EXTREME		Ensure a traffic management plan has been prepared that covers staff parking areas, unloading and loading of materials/equipment and crane activities. Site fencing and signage shall be used to define public area and construction area	MEDIUM		Motor vehicles shall be parked and operated on designated areas i.e driveway and garage/carport	LOW		Ensure a traffic management plan has been prepared that covers staff parking areas, unloading and loading of materials/equipment. Site fencing and signage shall be used to define public area and construction area	MEDIUM		LOW
Responsibility	Civil Engineer, Designer, Builder			Builder, Sub-contractors			Owner / Occupier			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			
Manual Tasks	Action			Action			Action			Action			
	Where possible utilise prefabricated items that are delivered to site in place	HIGH		For any items exceeding 20kg a team lift should be undertaken or a mechanical lifting device utilised	MEDIUM		For any items exceeding 20kg a team lift should be undertaken or a mechanical lifting device utilised	LOW		Implement safe work practices including the use of appropriate personal protective equipment (PPE) and safety balustrades	MEDIUM		LOW
Responsibility	Designer, Builder			Builder, Sub-contractors			Owner / Occupier			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			
Climate	Action			Action			Action			Action			
	Design for cyclonic region and peak annual rainfall. Working in heat	EXTREME		Plan construction with BOM weather forecast in mind. If cyclonic conditions are predicted ensure site is clean from any debris and loose items are stored away. When working in heat ensure intermittent breaks are had for rehydration and all PPE is worn i.e wide brim hat, long sleeves, shirt and sunglasses. If possible work under shade	MEDIUM		Occupants/Readers to have a cyclone plan and kit to be followed and used in the event a cyclone	LOW		Plan demolition with BOM weather forecast in mind. If cyclonic conditions are predicted ensure site is clean from any debris and loose items are stored away. When working in heat ensure intermittent breaks are had for rehydration and all PPE is worn i.e wide brim hat, long sleeve shirt and sunglasses. If possible work under shade	MEDIUM		LOW
Responsibility	Designer, Structural Engineer, Builder			Builder, Sub-contractors			Owner / Occupier			Builder, Sub-contractors			
Who is at risk?	Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			Users, Public			Builder, Sub-contractors, Consultants & Site Visitors			



TIM
ENGLISH
DESIGN

REV
A
B

BUILDING APPROVAL
CONSTRUCTION ISSUE

DESCRIPTION

DATE
01/05/25
04/07/25

INITIALS
TJE
TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD
THE STATION - WESTERN PRECINCT
SAFETY IN DESIGN RISK ASSESSMENT



DRAWN BY:
TJE

SCALE
1 : 1

CHECKED BY:
TJE

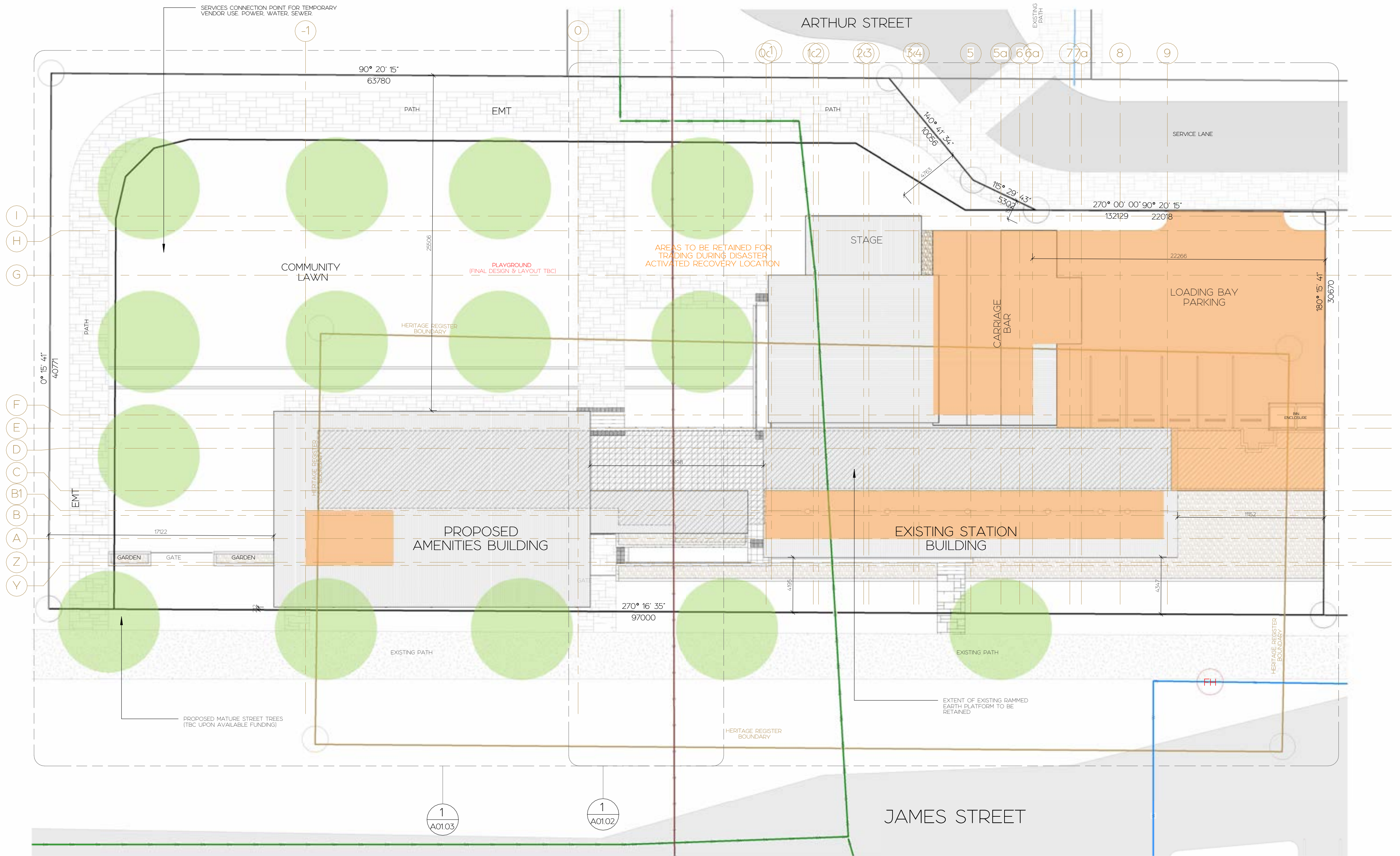
DATE
18/04/23

AT A3

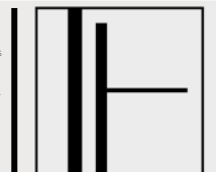
SHEET No
TED00036

REVISION
A00.03

B



1 SITE PLAN
A01.01 1 : 200



REV	DESCRIPTION
A	SKETCH DESIGN
B	SKETCH DESIGN AMENDMENTS
C	SKETCH DESIGN AMENDMENTS
D	PRE-LODGE ISSUE
E	PRE-LODGE AMENDMENTS
F	DEVELOPMENT APPROVAL ISSUE
G	BUILDING APPROVAL
H	CONSTRUCTION ISSUE

DATE	INITIALS
29/09/22	TJE
08/11/22	TJE
23/11/22	TJE
09/12/22	TJE
19/02/23	TJE
10/02/23	TJE
12/05/23	TJE
04/07/23	TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD
THE STATION - WESTERN PRECINCT
SITE PLAN



DRAWN BY:
TJE
SCALE:
1 : 200
AT A3
DRAWING No:
TED00036

CHECKED BY:
TJE
SHEET No:
A01.01

DATE:
18/04/23
REVISION:
H

KEYNOTE LEGEND	
CODE	DESCRIPTION
02.010	CONCRETE GARDEN EDGING
02.028	CUSTOM FABRICATED GATES - REFER TO DETAIL
02.029	GARDEN BED - REFER TO LANDSCAPE ARCHITECT DETAILS
03.004	CONCRETE PATH - REFER TO SPECIFICATION
03.015	TACTILE FLOOR INDICATOR TO AS1428.41:2009
04.004	190 MASONRY BLOCK WALL - RENDER & PAINT FINISH
11.002	CONCRETE RAMP 1:4 FALL - TO COMPLY WITH AS1428
12.001	CONTINUOUS HANDRAIL - TO COMPLY WITH AS1428

Copyright © TM ENGLISH DESIGN

The information contained in this document is subject to the terms and conditions of the engagement agreement under which the documentation was supplied to the recipient.

None of the information within this document and no part of this document is to be disclosed outside the recipient's own organisation without the prior written permission of TM ENGLISH DESIGN.

TIM ENGLISH DESIGN

QBCC# 15266903

REV

DESCRIPTION

DATE

INITIALS

A

DEVELOPMENT APPROVAL ISSUE

10.02.23

TJE

B

BUILDING APPROVAL

12.05.23

TJE

C

CONSTRUCTION ISSUE

04.07.23

TJE

The site plan illustrates the layout of the proposed amenities building and surrounding landscape. The building is a rectangular structure with a hatched pattern, situated in the lower right quadrant. To its left is a large, open area labeled 'COMMUNITY LAWN' with several large green circles representing trees. Further left is a 'PLAYGROUND (FINAL DESIGN & LAYOUT TBC)'. A network of paths, shown in black and red, connects different areas of the site. A 'GATE' is located near the bottom left. The plan includes various setbacks and dimensions, with black lines indicating setbacks and red lines indicating setouts. A 'HERITAGE REGISTER BOUNDARY' is shown as a dashed line. The site is bounded by a 'PATH' on the left and a 'HERITAGE REGISTER BOUNDARY' on the right. The plan also shows an 'EXISTING PATH' and 'EXTENT OF EXISTING RAMMED EARTH PLATFORM TO BE RETAINED'. The drawing includes a grid system with letters I through Y and numbers 1 through 12. The overall dimensions of the site are 63780 by 27028. The proposed amenities building has a width of 17055 and a length of 97000. The community lawn has a width of 17055 and a length of 19567. The playground has a width of 19567 and a length of 20730. The gate has a width of 19567 and a length of 20730. The path has a width of 19567 and a length of 20730. The heritage register boundary has a width of 19567 and a length of 20730. The extent of existing rammed earth platform to be retained has a width of 19567 and a length of 20730. The existing path has a width of 19567 and a length of 20730. The proposed mature street trees (TBC upon available funding) are located along the path.

SETBACK DIMENSION - SHOWN IN BLACK
SETOUT DIMENSION - SHOWN IN RED

1

SITE PLAN - WEST

A01.03

1 : 200

DRAWN BY:

TJE

SCALE:

1 : 200

AT A3

CHECKED BY:

TJE

SHEET No:

A01.03

DATE:

18/04/23

REVISION:

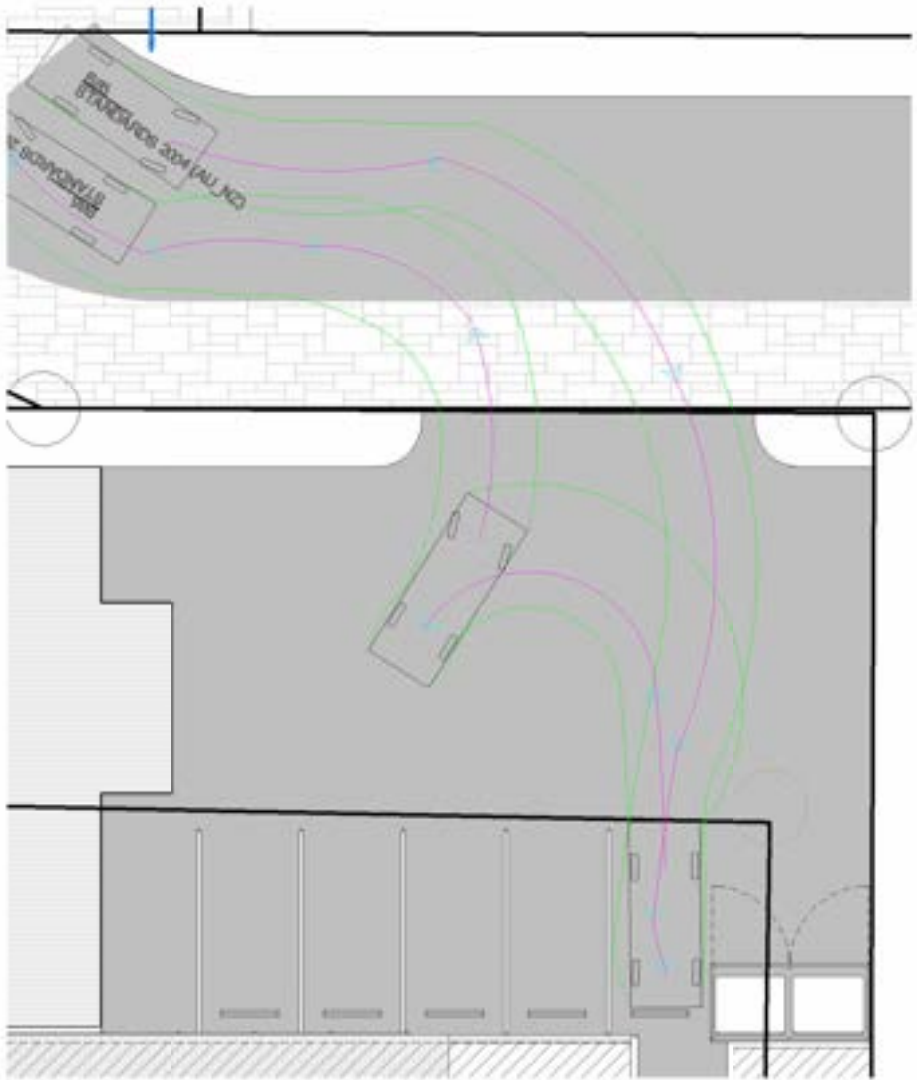
C

REV	DESCRIPTION	DATE	INITIALS
A	DEVELOPMENT APPROVAL ISSUE	10.02.23	TJE
B	BUILDING APPROVAL	12.05.23	TJE
C	CONSTRUCTION ISSUE	04.07.23	TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD

THE STATION - WESTERN PRECINCT

TURNING CIRCLES



1 TURNING CIRCLE 1 - B85
A01.04 1 : 200



2 TURNING CIRCLE 2 - B85
A01.04 1 : 200

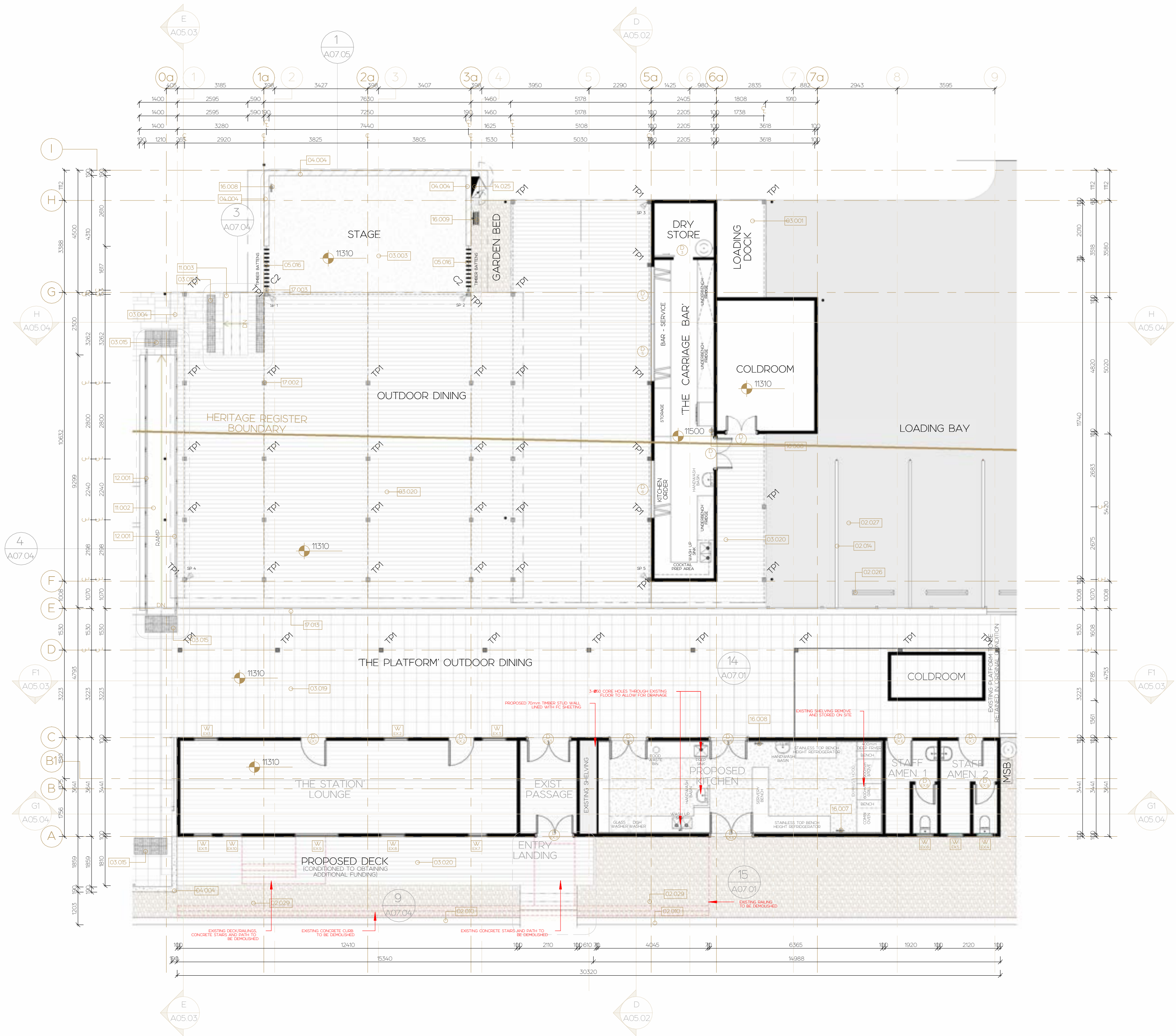


3 TURNING CIRCLE 3 - MRV
A01.04 250



4 TURNING CIRCLE 4 - MRV
A01.04 250



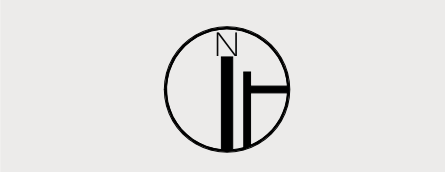
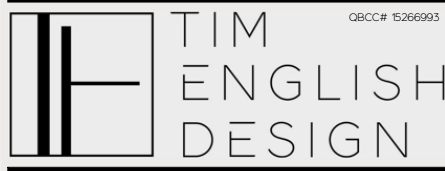


AREA SCHEDULE	
NAME	AREA
AMENITIES BLDG	59.57 m²
CARRIAGE BAR & COLDROOM	55.10 m²
EASTERN PLATFORM	54.44 m²
EXISTING STATION BUILDING	110.88 m²
EXISTING LANDING	7.80 m²
FRONT DECK	20.75 m²
LANDSCAPING	182.93 m²
LOADING DOCK	18.00 m²
OUTDOOR DINING DECK	188.66 m²
PLATFORM OUTDOOR DINING	390.34 m²
RAMPS	22.55 m²
STAGE	34.34 m²
TENANCY	27.08 m²
TOTAL	1172.43 m²

COLUMN SCHEDULE			
MARK	SIZE	TYPE	COUNT
C1	125x125x4.0	SHS	15
C2	75x75x4.0	SHS	34
C3	75x75x4.0	SHS	8
ex. C2	75x75x4.0	SHS	18
ex. C3	350x350	BRICK COLUMN	9
TP1	140x140	HWD TIMBER	43

KEYNOTE LEGEND	
CODE	DESCRIPTION
02.010	CONCRETE GARDEN EDGING
02.014	PAINTED PARKING STRIPE PER AS 2890.2.2018
02.026	WHEEL STOP PER AS 2890.2.2018
02.027	ASPHALT CARPARK - REFER TO ENGINEERING DETAIL
02.029	GARDEN BED - REFER TO LANDSCAPE ARCHITECT DETAILS
03.001	CONCRETE SLAB & FOOTINGS REFER TO STRUCTURAL ENGINEERING DETAILS
03.003	HONED CONCRETE SLAB - REFER TO SPECIFICATION
03.004	CONCRETE PATH - REFER TO SPECIFICATION
03.015	TACTILE FLOOR INDICATOR TO AS1428.412009
03.019	SELECTED PAVING
03.020	140x19 HARDWOOD DECKING
04.004	190 MASONRY BLOCK WALL - RENDER & PAINT FINISH
05.016	HARDWOOD TIMBER BATTEN SCREEN - REFER TO DETAILS
11.002	CONCRETE RAMP T14 FALL - TO COMPLY WITH AS1428
11.003	HARDWOOD TIMBER STAIRS - TO COMPLY WITH NCC PART 3.9
12.001	CONTINUOUS HANDRAIL - TO COMPLY WITH AS1428
14.025	MASTER SWITCH BOARD
16.007	CLASS 'F' FIRE EXTINGUISHER (COOKING OILS/ FATS FIRE)
16.008	CLASS 'ABE' FIRE EXTINGUISHER
16.009	FIRE HOSE REEL
17.002	HARDWOOD COLUMN - REFER TO COLUMN SCHEDULE
17.003	STEEL HOLLOW SECTION COLUMN - REFER TO COLUMN SCHEDULE
17.013	HARDWOOD SLEEPER

Copyright © TM ENGLISH DESIGN
The information contained in this document is subject to the terms and conditions of the engagement agreement under which the documentation was supplied to the recipient.
None of the information within this document and no part of this document is to be reproduced in any way without the prior written permission of TM ENGLISH DESIGN.



REV	DESCRIPTION	DATE	INITIAL
A	SKETCH DESIGN	29/03/22	TJE
B	SKETCH DESIGN AMENDMENTS	08/11/22	TJE
C	SKETCH DESIGN AMENDMENTS	22/11/22	TJE
D	PRE-LODGE/MENT ISSUE	09/12/22	TJE
E	PRE-LODGE/MENT AMENDMENTS	19/02/23	TJE
F	DEVELOPMENT APPROVAL ISSUE	10/02/23	TJE
G	BUILDING APPROVAL	12/05/23	TJE
H	CONSTRUCTION ISSUE	04/07/23	TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD

THE STATION - WESTERN PRECINCT

FLOOR PLAN - BAR & RESTAURANT



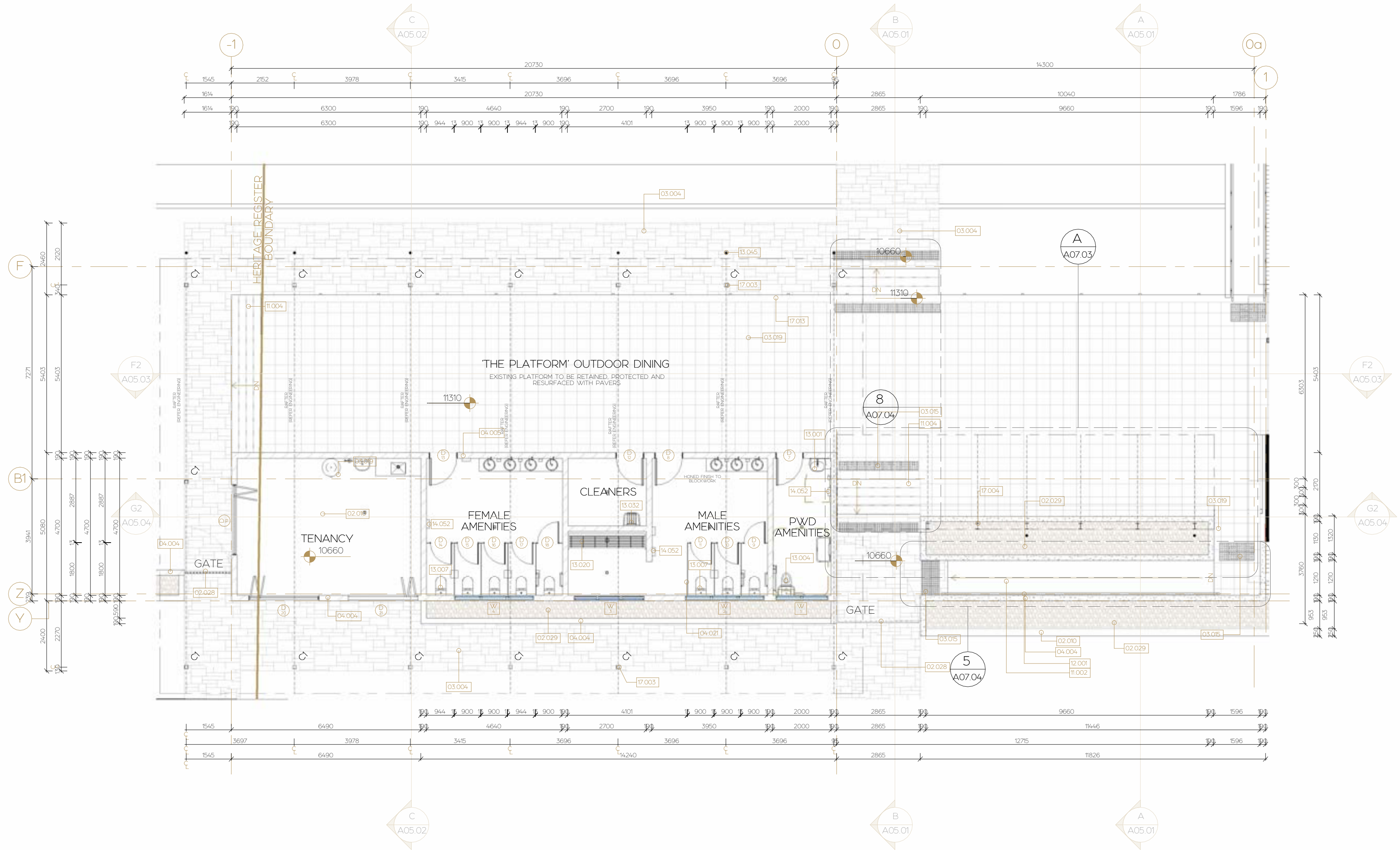


REV	DESCRIPTION	DATE	INITIALS
A	SKETCH DESIGN AMENDMENTS	08/12/22	TJE
B	SKETCH DESIGN AMENDMENTS	22/12/22	TJE
C	PRE-LODGE/MENT ISSUE	09/12/22	TJE
D	PRE-LODGE/MENT AMENDMENTS	19/12/23	TJE
E	DEVELOPMENT APPROVAL ISSUE	10/02/23	TJE
F	BUILDING APPROVAL	10/05/23	TJE
G	CONSTRUCTION ISSUE	04/07/23	TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD
THE STATION - WESTERN PRECINCT
FLOOR PLAN - AMENITIES BUILDING



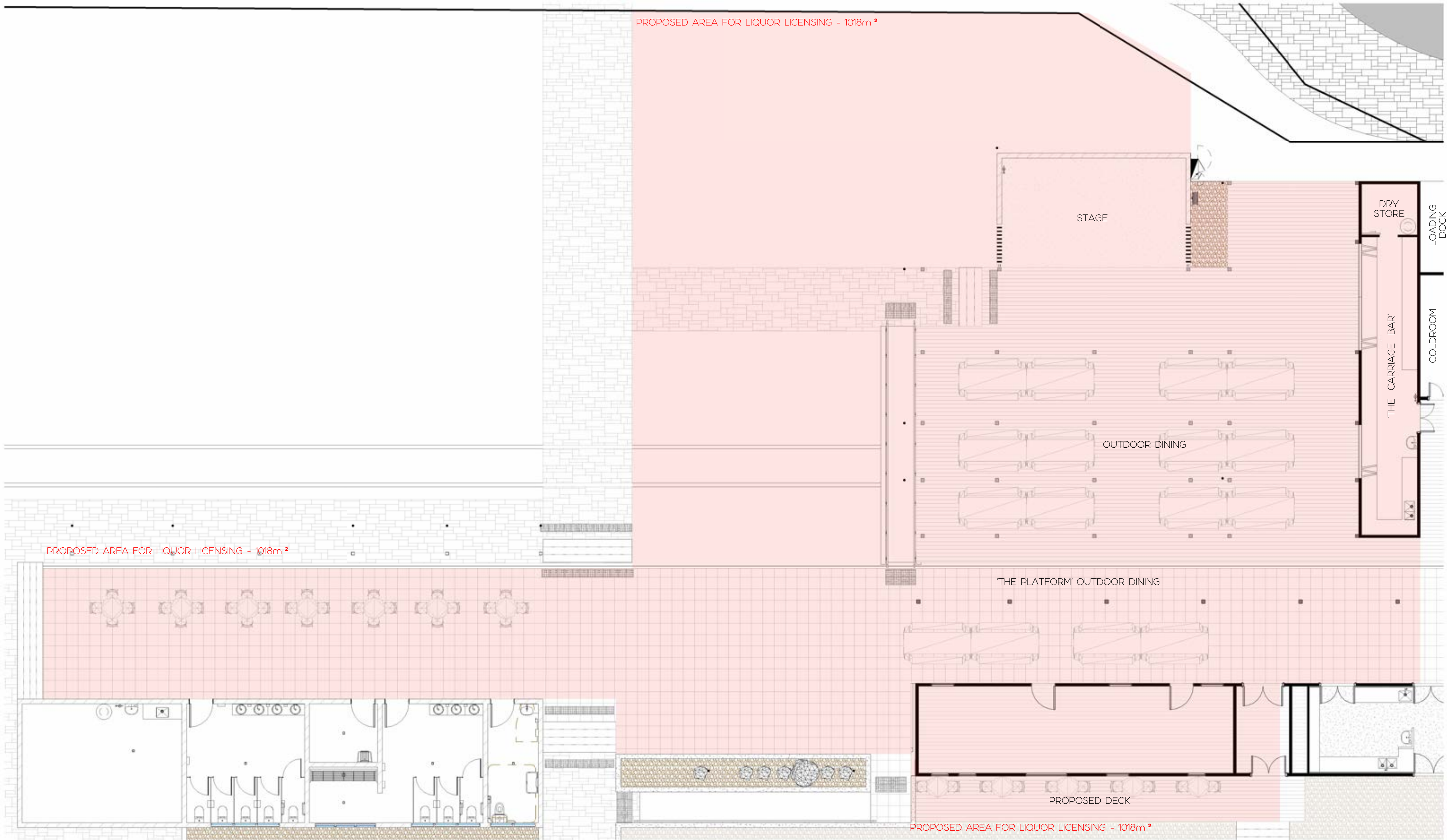
DRAWN BY:	TJE	CHECKED BY:	TJE	DATE:	18/04/23
SCALE:	1 : 100	AT A3			
DRAWING No:	TED00036	SHEET No:	A02.02	REVISION:	G



AREA SCHEDULE	
NAME	AREA
AMENITIES BLDG	59.57 m ²
CARRIAGE BAR & COLDROOM	55.10 m ²
EASTERN PLATFORM	54.44 m ²
EXISTING STATION BUILDING	110.88 m ²
EXISTING LANDING	7.80 m ²
FRONT DECK	20.75 m ²
LANDSCAPING	182.93 m ²
LOADING DOCK	18.00 m ²
OUTDOOR DINING DECK	188.66 m ²
PLATFORM OUTDOOR DINING	390.34 m ²
RAMP	22.55 m ²
STAGE	34.34 m ²
TENANCY	27.08 m ²
TOTAL	1172.43 m ²

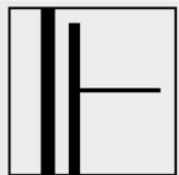
COLUMN SCHEDULE			
MARK	SIZE	TYPE	COUNT
C1	125x125x4.0	SHS	15
C2	75x75x4.0	SHS	34
C3	75x75x4.0	SHS	8
ex. C2	75x75x4.0	SHS	18
ex. C3	350x350	BRICK COLUMN	9
TP1	140x140	HWD TIMBER	43

KEYNOTE LEGEND	
CODE	DESCRIPTION
02.010	CONCRETE GARDEN EDGING
02.028	CUSTOM FABRICATED GATES - REFER TO DETAIL
02.029	GARDEN BED - REFER TO LANDSCAPE ARCHITECT DETAILS
03.004	CONCRETE PATH - REFER TO SPECIFICATION
03.015	TACTILE FLOOR INDICATOR TO AS1428.412009
03.019	SELECTED PAVING
04.004	190 MASONRY BLOCK WALL - RENDER & PAINT FINISH
04.005	190 REINFORCED BLOCKWORK WALL - HONED FINISH
04.021	13mm LAMINATED MDF BOARD PARTITION WALL
11.002	CONCRETE RAMP 1/4 FALL - TO COMPLY WITH AS1428
11.004	CONCRETE STAIRS - TO COMPLY WITH NCC PART 3.9
12.001	CONTINUOUS HANDRAIL - TO COMPLY WITH AS1428
13.001	AS1428 COMPLIANT BASIN - REFER TO SPECIFICATION
13.004	AS1428 COMPLIANT TOILET - REFER TO SPECIFICATION
13.007	TOILET - REFER TO SPECIFICATION
13.020	URINAL - REFER TO SPECIFICATION
13.032	CLEANERS SINK - BY OTHERS
13.045	GALVANISED SPIRAL DOWNPIPE
14.052	AUTOMATIC HAND DRYER - REFER TO SPEC.
17.003	STEEL HOLLOW SECTION COLUMN - REFER TO COLUMN SCHEDULE
17.004	UNIVERSAL BEAM COLUMN - REFER TO STRUCTURAL ENGINEERING DETAIL
17.013	HARDWOOD SLEEPER



1 FLOOR LEVEL - LIQUOR LISENSING
A02.03 1 : 100

Copyright © TIM ENGLISH DESIGN
The information contained in this document is
subject to the terms and conditions of the
engagement agreement under which this
documentation was supplied to the recipient.
None of the information within this document
and no part of this document shall be
al disclosed outside the recipient's own
organisation.
It is reproduced in any way without the prior
written permission of TIM ENGLISH DESIGN.



TIM
ENGLISH
DESIGN

REV	DESCRIPTION
A	DEVELOPMENT APPROVAL ISSUE
B	BUILDING APPROVAL
C	CONSTRUCTION ISSUE

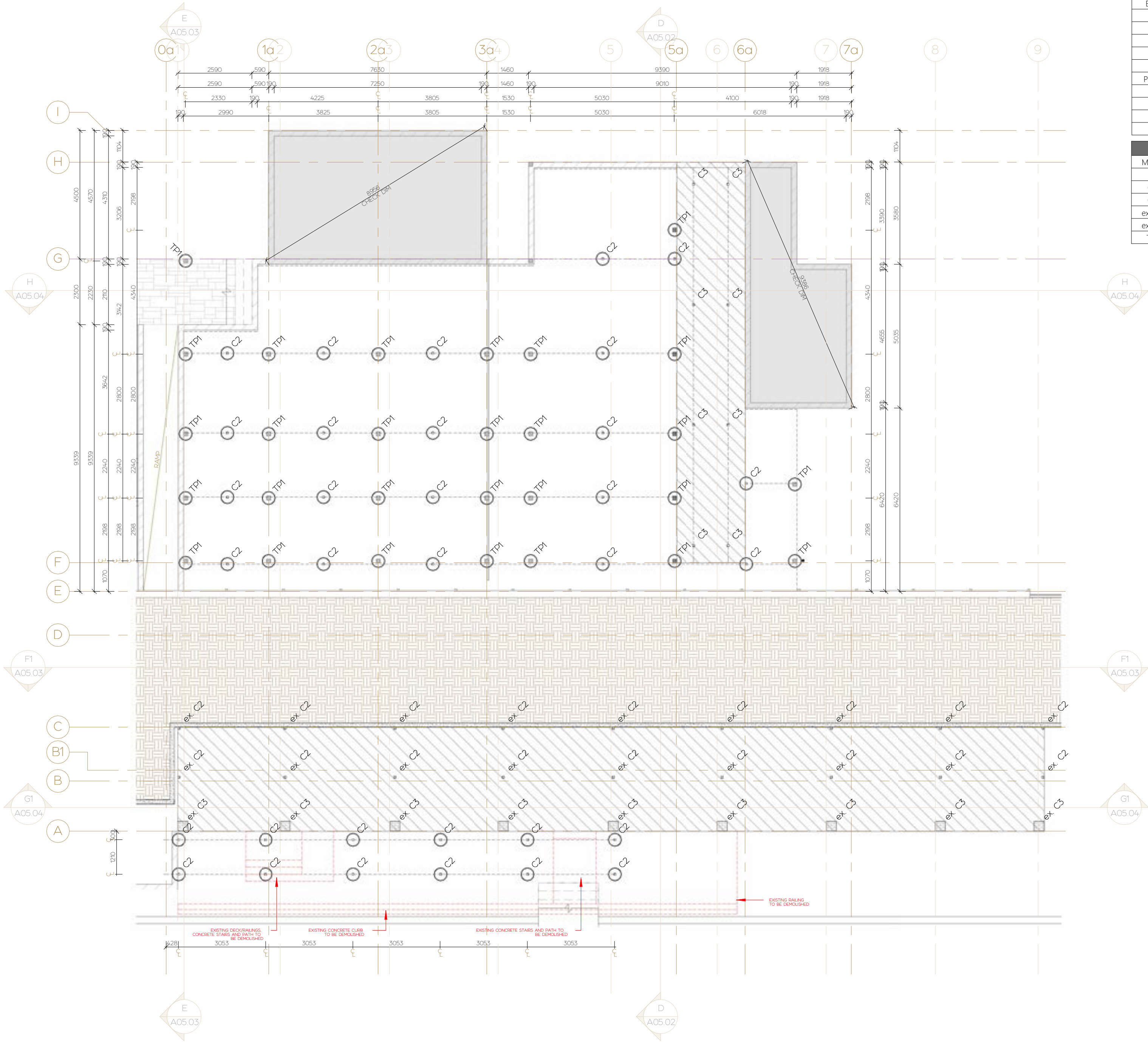
DATE	INITIALS
10/02/25	TJE
12/05/25	TJE
04/07/25	TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD
THE STATION - WESTERN PRECINCT
FLOOR LEVEL - LIQUOR LISENSING AREA PLAN



DRAWN BY:	TJE
CHECKED BY:	TJE
DATE:	18/04/23
SCALE:	1 : 100
AT A3	
DRAWING No	TED00036
SHEET No	A02.03

REVISION	C
----------	---



AREA SCHEDULE	
NAME	AREA
AMENITIES BLDG	59.57 m²
CARRIAGE BAR & COLDROOM	55.10 m²
EASTERN PLATFORM	54.44 m²
EXISTING STATION BUILDING	110.88 m²
EXISTING LANDING	7.80 m²
FRONT DECK	20.75 m²
LANDSCAPING	182.93 m²
LOADING DOCK	18.00 m²
OUTDOOR DINING DECK	188.66 m²
PLATFORM OUTDOOR DINING	390.34 m²
RAMPS	22.55 m²
STAGE	34.34 m²
TENANCY	27.08 m²
TOTAL	1172.43 m²

COLUMN SCHEDULE			
MARK	SIZE	TYPE	COUNT
C1	125x125x4.0	SHS	15
C2	75x75x4.0	SHS	34
C3	75x75x4.0	SHS	8
ex. C2	75x75x4.0	SHS	18
ex. C3	350x350	BRICK COLUMN	9
TP1	140x140	HWD TIMBER	43

Copyright © TIM ENGLISH DESIGN

The information contained in this document is subject to the terms and conditions of the engagement agreement under which the document was supplied to the recipient.

None of the information within this document and no part of this document is to be disclosed outside the recipient's own organization, shall be reproduced in any way without the prior written permission of TIM ENGLISH DESIGN.

TIM ENGLISH DESIGN

QBCC# 15266903

REV	DESCRIPTION	DATE	INITIALS
A	SKETCH DESIGN	29/09/22	TJE
B	SKETCH DESIGN AMENDMENTS	08/11/22	TJE
C	SKETCH DESIGN AMENDMENTS	22/11/22	TJE
D	PRE-LODGE/MENT ISSUE	09/12/22	TJE
E	PRE-LODGE/MENT AMENDMENTS	19/01/23	TJE
F	DEVELOPMENT APPROVAL ISSUE	10/02/23	TJE
G	BUILDING APPROVAL	12/05/23	TJE
H	CONSTRUCTION ISSUE	04/07/23	TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD

THE STATION - WESTERN PRECINCT

SLAB & BLOCKWORK LAYOUT PLAN- BAR & RESTURANT



AREA SCHEDULE	
NAME	AREA
AMENITIES BLDG	59.57 m²
CARRIAGE BAR & COLDROOM	55.10 m²
EASTERN PLATFORM	54.44 m²
EXISTING STATION BUILDING	110.88 m²
EXISTING LANDING	7.80 m²
FRONT DECK	20.75 m²
LANDSCAPING	182.93 m²
LOADING DOCK	18.00 m²
OUTDOOR DINING DECK	188.66 m²
PLATFORM OUTDOOR DINING	390.34 m²
RAMPS	22.55 m²
STAGE	34.34 m²
TENANCY	27.08 m²
TOTAL	1172.43 m²

COLUMN SCHEDULE			
MARK	SIZE	TYPE	COUNT
C1	125x125x4.0	SHS	15
C2	75x75x4.0	SHS	34
C3	75x75x4.0	SHS	8
ex. C2	75x75x4.0	SHS	18
ex. C3	350x350	BRICK COLUMN	9
TP1	140x140	HWD TIMBER	43

Copyright © TM ENGLISH DESIGN

The information contained in this document is subject to the terms and conditions of the engagement agreement under which the document was supplied to the recipient.

None of the information within this document and no part of this document shall be disclosed outside the recipient's own organisation or reproduced in any way without the prior written permission of TM ENGLISH DESIGN.

TIM ENGLISH DESIGN

QBCC# 15266903

N

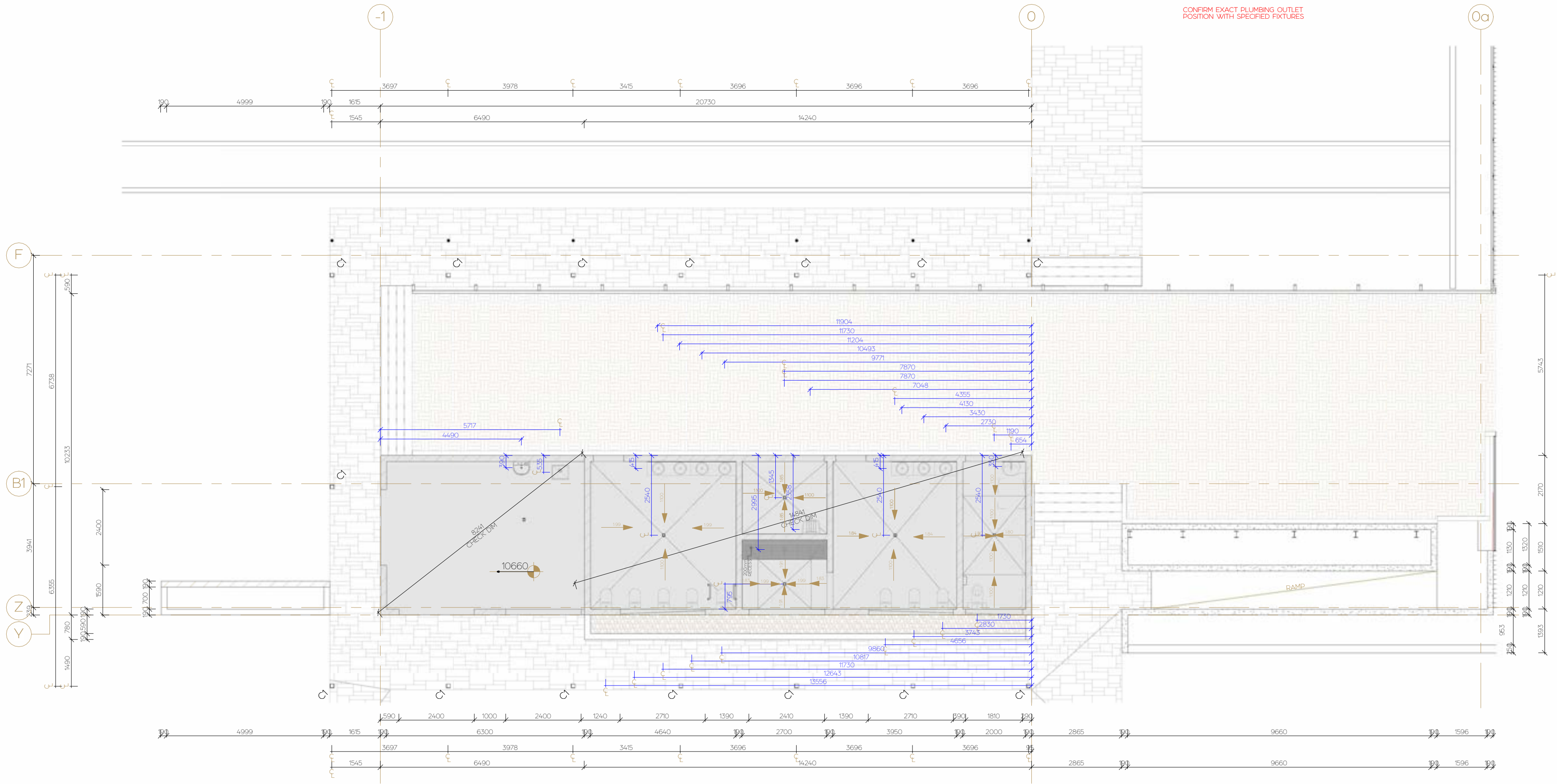
REV	DESCRIPTION	DATE	INITIALS
A	SKETCH DESIGN	29/09/22	TJE
B	SKETCH DESIGN AMENDMENTS	08/11/22	TJE
C	SKETCH DESIGN AMENDMENTS	22/11/22	TJE
D	PRE-LODGE/MENT ISSUE	09/12/22	TJE
E	PRE-LODGE/MENT AMENDMENTS	19/02/23	TJE
F	DEVELOPMENT APPROVAL ISSUE	10/02/23	TJE
G	BUILDING APPROVAL	12/05/23	TJE
H	CONSTRUCTION ISSUE	04/07/23	TJE

PROPOSED BAR, RESTAURANT & AMENITIES

LIMESTONE PACIFIC PTY LTD

THE STATION - WESTERN PRECINCT

SLAB & BLOCKWORK LAYOUT PLAN- AMENITIES



A02.05

1 : 100



Copyright © TIM ENGLISH DESIGN.

The information contained in this document is subject to the terms and conditions of the engagement agreement under which the documentation was supplied to the recipient.

None of the information within this document and no part of this document shall be:

- a) disclosed outside the recipient's own organisation
- b) reproduced in any way without the prior written permission of TIM ENGLISH DESIGN



REV	DESCRIPTION	DATE	INITIAL
A	BUILDING APPROVAL	12.05.23	TJE
B	CONSTRUCTION ISSUE	04.07.23	TJE

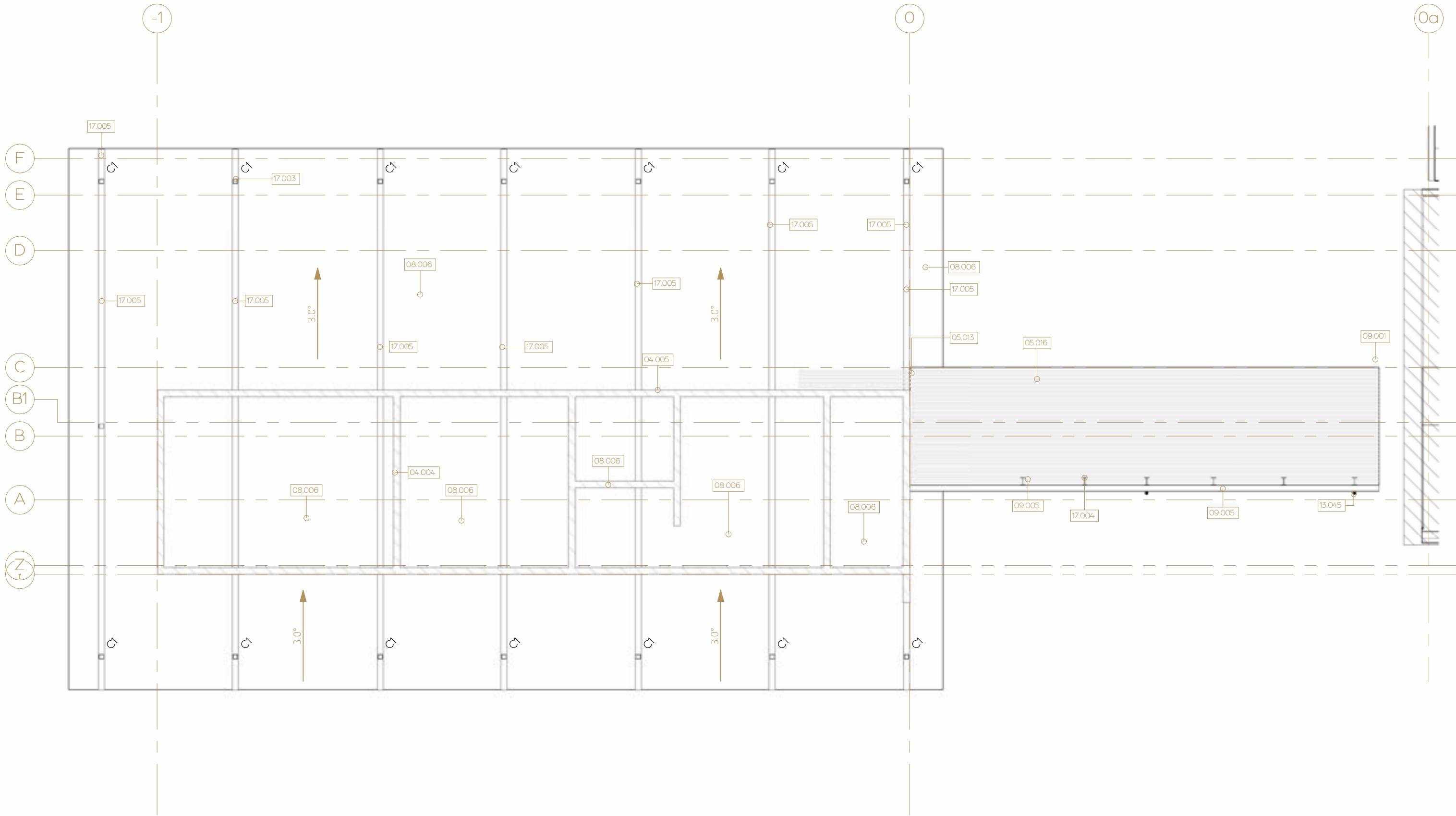
REFLECTED CEILING PLAN - BAR &
RESTAURANT



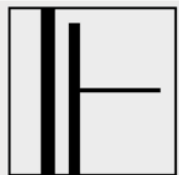
CHECKED BY: TJE DATE: 18/04/23

SHEET No. 02.06 REVISION B

KEYNOTE LEGEND	
CODE	DESCRIPTION
04.004	190 MASONRY BLOCK WALL - RENDER & PAINT FINISH
04.005	190 REINFORCED BLOCKWORK WALL - HONED FINISH
05.013	FC SHEETING - PAINT FINISH
05.016	HARDWOOD TIMBER BATTEN SCREEN - REFER TO DETAILS
08.006	FC SHEET CEILING
09.001	SELECTED BARGE CAPPING - FIXED AS PER MANUFACTURERS SPEC.
09.005	SELECTED EAVES GUTTERS FIXED AS PER MANUFACTURERS SPEC.
13.045	GALVANISED SPIRAL DOWNPIPE
17.003	STEEL HOLLOW SECTION COLUMN - REFER TO COLUMN SCHEDULE
17.004	UNIVERSAL BEAM COLUMN - REFER TO STRUCTURAL ENGINEERING DETAIL
17.005	UNIVERSAL BEAM RAFTER - REFER TO STRUCTURAL ENGINEERING DETAIL



1 R.C.P - AMENITIES
A02.07 1 : 100



RAINFALL DURATION INTENSITY		
LOCALITY	5 MINUTE DURATION RAINFALL INTENSITY (mm/h)	
	AVERAGE RECURRENCE INTERVAL, ONCE IN -	
	20 YEARS	100 YEARS
ROCKHAMPTON	229	300

GUTTER AND DOWNPIPE SELECTION

TABLE A. GUTTER SIZES FOR VARIOUS RAINFALL INTENSITIES AND ROOF CATCHMENT ARE PER DOWNPIPE					
DESIGN RAINFALL INTENSITY (MM/H) (AS PER TABLE 3.5.2.1)	ROOF CATCHMENT AREA PER DOWNPIPE m ²				
	30 m ²	40 m ²	50 m ²	60 m ²	70 m ²
	SIZE OF GUTTER REQUIRED TO DRAIN ROOF CATCHMENT INTO 1 DOWNPIPE (REFER TABLE B)				
255	A OR C	A OR D	B OR E	E	F
275	A OR C	A OR D	B OR E	F	F
300	A OR C	B OR E	F	F	F

TABLE B. GUTTER SIZES FOR VARIOUS RAINFALL INTENSITIES

GUTTER TYPE (AS PER TABLE A)	GUTTER DESCRIPTION	MINIMUM CROSS SECTIONAL AREA mm ²
A	MEDIUM RECTANGULAR GUTTER	6500
B	LARGE RECTANGULAR GUTTER	7900
C	15mm D GUTTER	5200
D	125mm D GUTTER	6300
E	150mm D GUTTER	9000
F	GUTTER MUST BE DESIGNED IN ACCORDANCE WITH AS3500.3-2018 OR SECTION 5 OF AS3500.5-2012	

TABLE C DOWNPIPE SELECTION

DOWNPIPE SECTION	GUTTER SECTION AS PER TABLE B				
	A	B	C	D	E
75mm DIA	YES	YES	YES	YES	NO
100mm x 50mm	YES	YES	YES	YES	YES
90mm DIA	YES	YES	YES	YES	YES
100mm x 75mm	YES	YES	YES	YES	YES

OVERFLOW

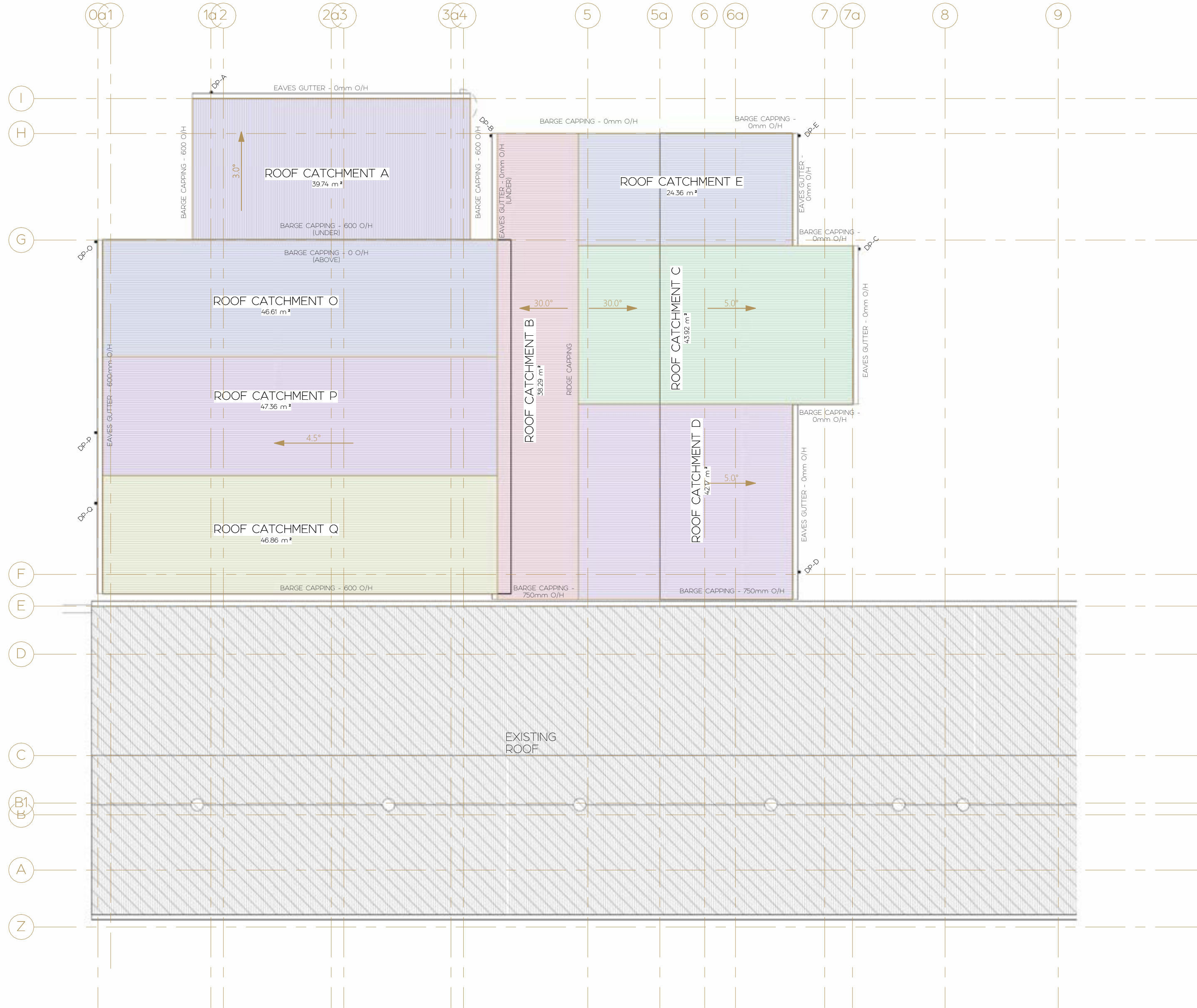
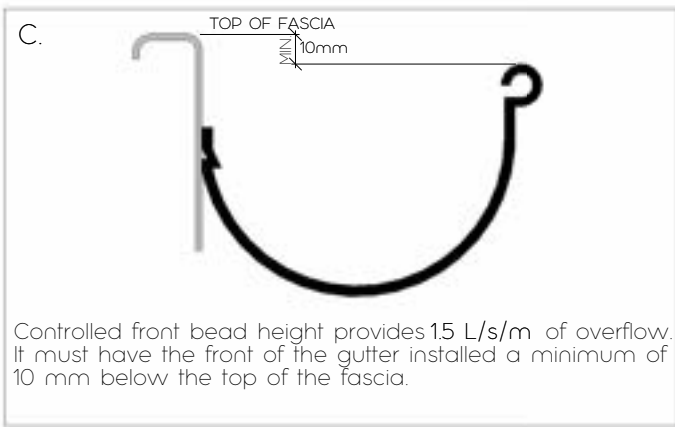
TABLE A OVERFLOW VOLUME FOR CONTINUOUS MEASURE (L/s/m)

DESIGN 5 MIN. DURATION RAINFALL INTENSITY (mm/h) FROM TABLE 35.2(1)	RIDGE TO GUTTER LENGTH (m)							
	2	4	6	8	10	12	14	16
275	0.15	0.31	0.46	0.61	0.76	0.92	1.1	1.2
300	0.17	0.33	0.50	0.67	0.83	1.0	1.2	1.3
325	0.18	0.36	0.54	0.72	0.90	1.1	1.3	1.4

TABLE B OVERFLOW VOLUME FOR DEDICATED MEASURE (L/s)

DESIGN 5 MIN. DURATION RAINFALL INTENSITY (mm/h) FROM TABLE 35.2.1)	ROOF CATCHMENT AREA (m ²)				
	30m ²	40m ²	50m ²	60m ²	70m ²
275	2.3	3.1	3.8	4.6	5.3
300	2.5	3.3	4.2	5.0	5.8
325	2.7	3.6	4.5	5.4	6.3

CONTINUOUS OVERFLOW MEASURE - HALF ROUND 150 GUTTER



RAINFALL DURATION INTENSITY		
LOCALITY	5 MINUTE DURATION RAINFALL INTENSITY (mm/h)	
	AVERAGE RECURRENCE INTERVAL, ONCE IN -	
	20 YEARS	100 YEARS
ROCKHAMPTON	229	300

GUTTER AND DOWNPIPE SELECTION						
TABLE A. GUTTER SIZES FOR VARIOUS RAINFALL INTENSITIES AND ROOF CATCHMENT ARE PER DOWNPIPE						
DESIGN RAINFALL INTENSITY (MM/H) (AS PER TABLE 3.5.2.1)	ROOF CATCHMENT AREA PER DOWNPIPE m²					
	30 m²	40 m²	50 m²	60 m²	70 m²	
	SIZE OF GUTTER REQUIRED TO DRAIN ROOF CATCHMENT INTO 1 DOWNPIPE (REFER TABLE B)					
255	A OR C	A OR D	B OR E	E	F	
275	A OR C	A OR D	B OR E	F	F	
300	A OR C	B OR E	F	F	F	

TABLE B. GUTTER SIZES FOR VARIOUS RAINFALL INTENSITIES		
GUTTER TYPE (AS PER TABLE A)	GUTTER DESCRIPTION	MINIMUM CROSS SECTIONAL AREA mm²
A	MEDIUM RECTANGULAR GUTTER	6500
B	LARGE RECTANGULAR GUTTER	7900
C	115mm D GUTTER	5200
D	125mm D GUTTER	6300
E	150mm D GUTTER	9000
F	GUTTER MUST BE DESIGNED IN ACCORDANCE WITH AS3500.3-2018 OR SECTION 5 OF AS3500.5-2012	

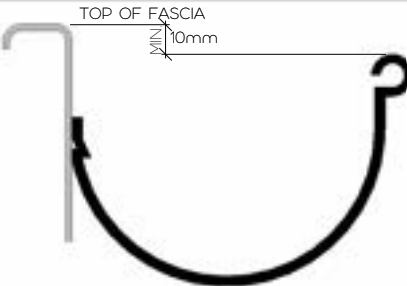
TABLE C DOWNPIPE SELECTION					
DOWNPIPE SECTION	GUTTER SECTION AS PER TABLE B				
	A	B	C	D	E
75mm DIA	YES	YES	YES	YES	NO
100mm x 50mm	YES	YES	YES	YES	YES
90mm DIA	YES	YES	YES	YES	YES
100mm x 75mm	YES	YES	YES	YES	YES

OVERFLOW										
TABLE A OVERFLOW VOLUME FOR CONTINUOUS MEASURE (L/s/m)										
DESIGN 5 MIN. DURATION RAINFALL INTENSITY (mm/h) FROM TABLE 3.5.2.1)	RIDGE TO GUTTER LENGTH (m)									
	2	4	6	8	10	12	14	16		
275	0.15	0.31	0.46	0.61	0.76	0.92	1.1	1.2		
300	0.17	0.33	0.50	0.67	0.83	1.0	1.2	1.3		
325	0.18	0.36	0.54	0.72	0.90	1.1	1.3	1.4		

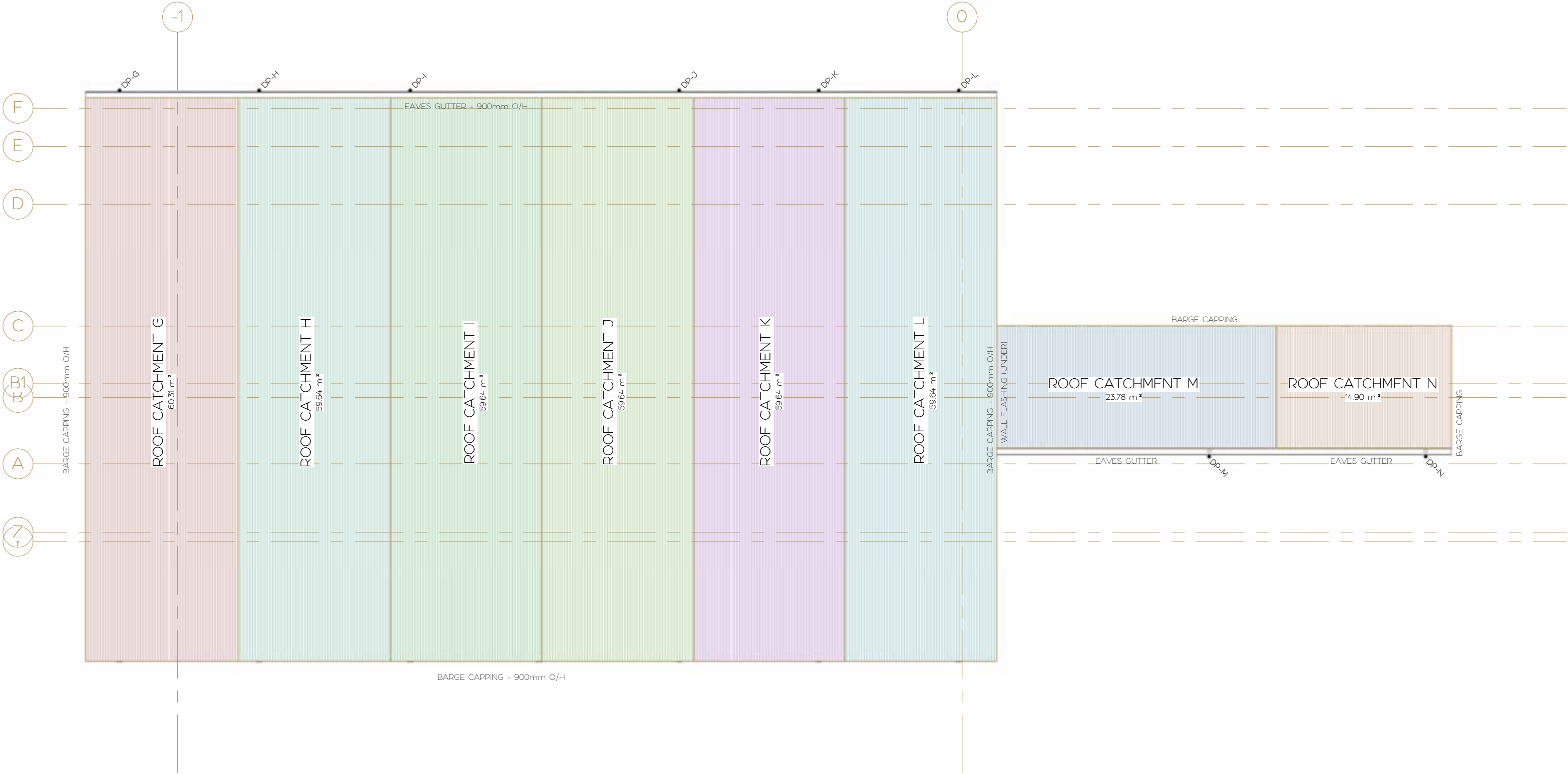
TABLE B OVERFLOW VOLUME FOR DEDICATED MEASURE (L/s)					
DESIGN 5 MIN. DURATION RAINFALL INTENSITY (mm/h) FROM TABLE 3.5.2.1)	ROOF CATCHMENT AREA (m²)				
	30m²	40m²	50m²	60m²	70m²
275	2.3	3.1	3.8	4.6	5.3
300	2.5	3.3	4.2	5.0	5.8
325	2.7	3.6	4.5	5.4	6.3

CONTINUOUS OVERFLOW MEASURE - HALF ROUND 150 GUTTER

C.



Controlled front bead height provides 15 L/s/m of overflow. It must have the front of the gutter installed a minimum of 10 mm below the top of the fascia.



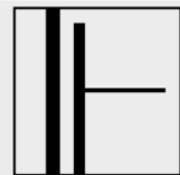
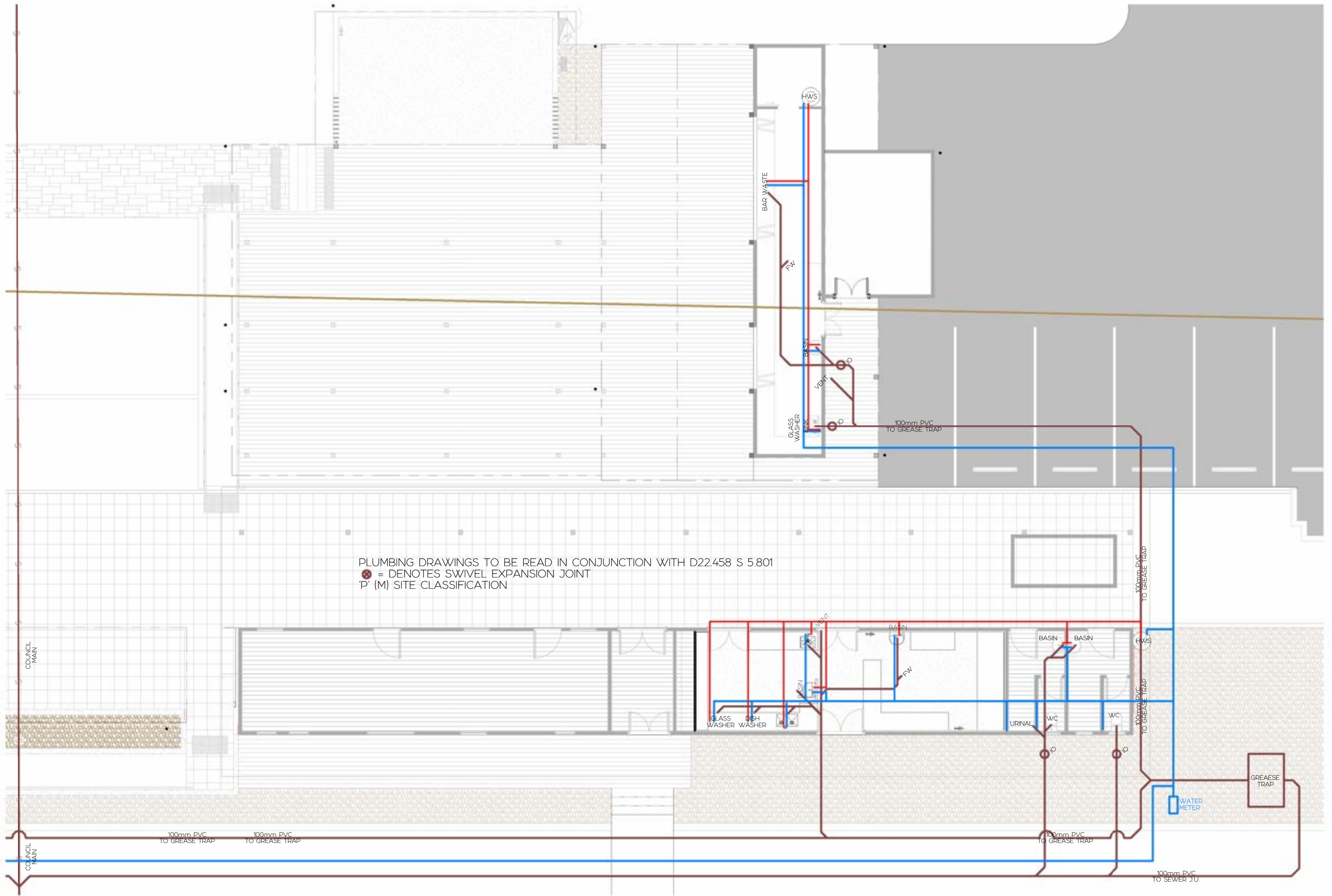
REV	DESCRIPTION	DATE	INITIALS
A	BUILDING APPROVAL	13.05.23	TJE
B	CONSTRUCTION ISSUE	04.07.23	TJE

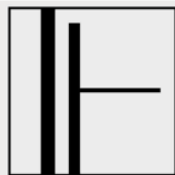
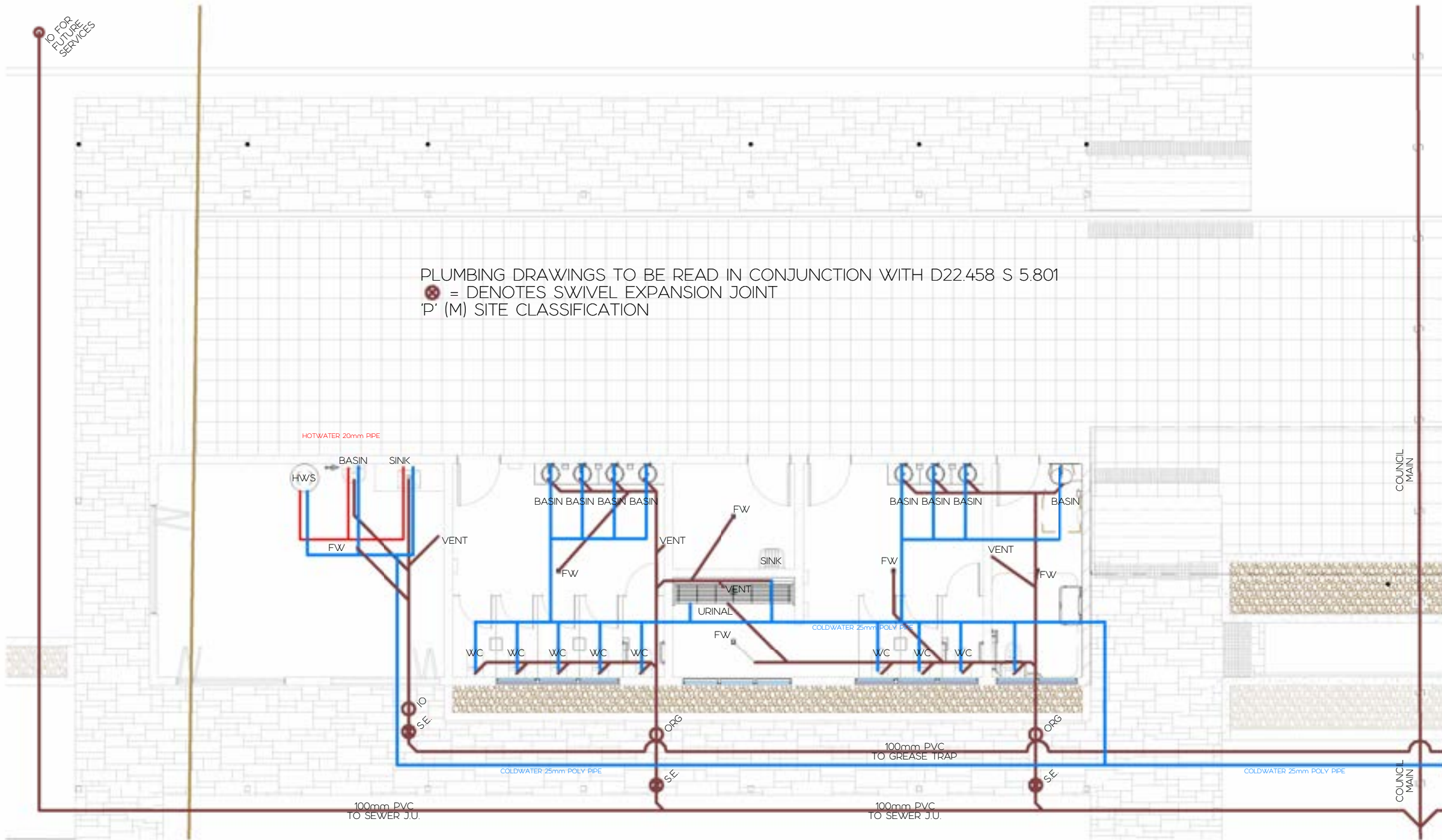
PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD

THE STATION - WESTERN PRECINCT

ROOF PLAN - AMENITIES BUILDING







REV	DESCRIPTION	DATE	INITIALS
A	DEVELOPMENT APPROVAL ISSUE	10/02/23	TJE
B	BUILDING APPROVAL	12/05/23	TJE
C	CONSTRUCTION ISSUE	04/07/23	TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD
THE STATION - WESTERN PRECINCT
PLUMBING PLAN - AMENITIES



CONCEPTUAL ONLY
DESIGN TO BE CONFIRMED AFTER AWARDED TENDER

DRAWN BY: TJE	CHECKED BY: TJE	DATE: 18/04/23
SCALE: 1 : 100	AT A3	
DRAWING No: TED000036	SHEET No: A02.11	REVISION: C

LIMESTONE PACIFIC PTY LTD

THE STATION - WESTERN PRECINCT

ELEVATIONS

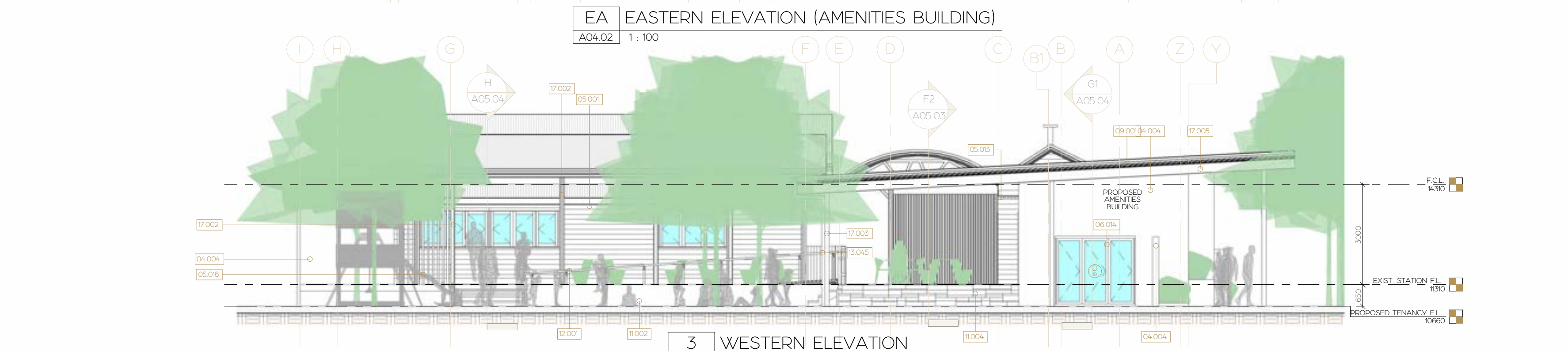
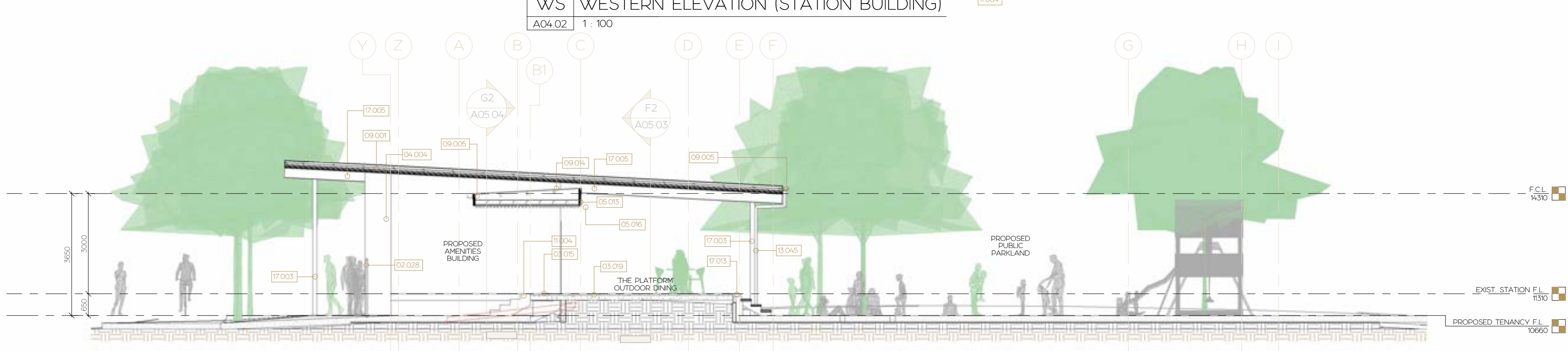
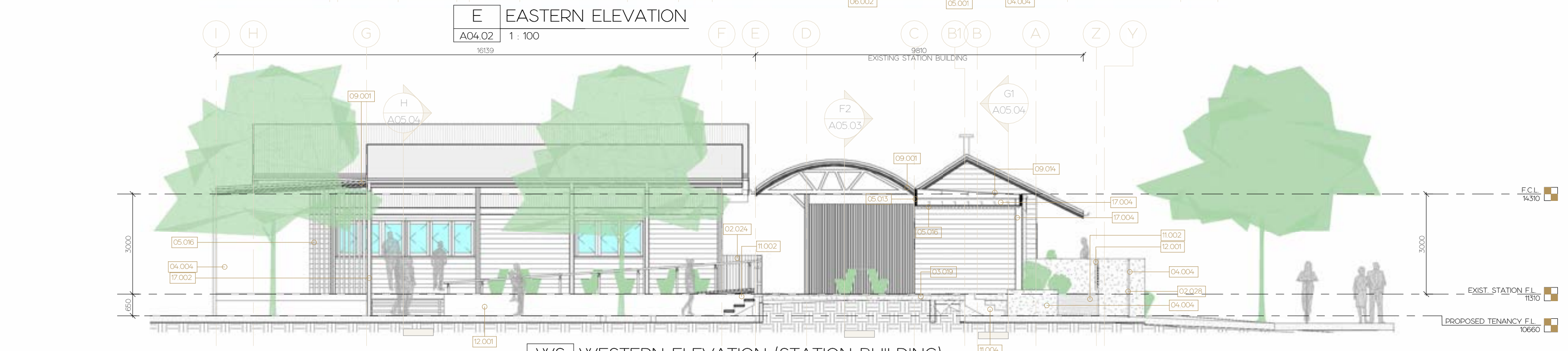
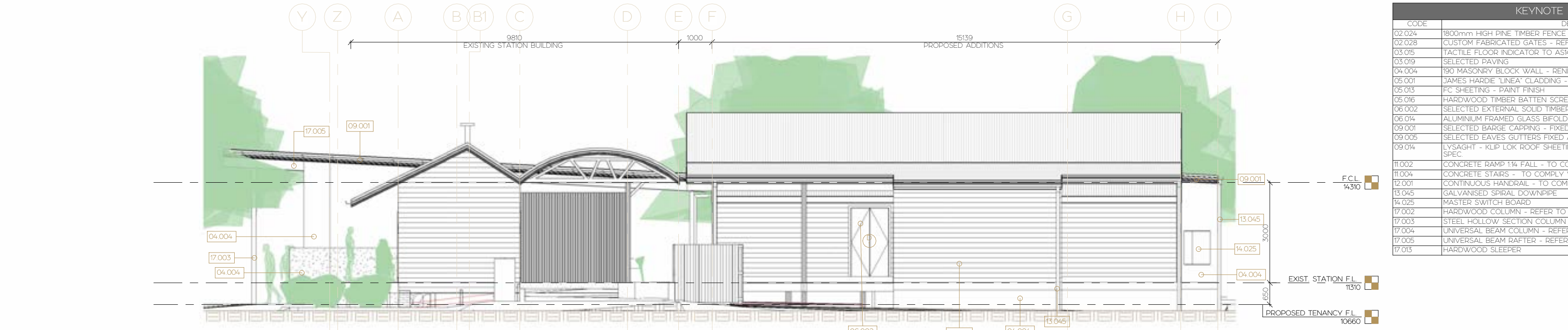
KEYNOTE LEGEND	
CODE	DESCRIPTION
02.028	CUSTOM FABRICATED GATES - REFER TO DETAIL
04.004	190 MASONRY BLOCK WALL - REFER & PAINT FINISH
05.001	FRAMES HARDIE "LINEA" CLADDING - PAINT FINISH CLADDING
05.013	FC SHEETING - PAINT FINISH
05.016	HARDWOOD TIMBER BATTEN SCREEN - REFER TO DETAILS
06.002	SELECTED EXTERNAL SOLID TIMBER DOOR - PAINT FINISH
06.014	ALUMINIUM FRAMED GLASS BIFOLD DOOR
07.009	ALUMINIUM FRAMED GLASS LOUVRES
08.006	FC SHEET CEILING
09.001	SELECTED BARGE CAPPING - FIXED AS PER MANUFACTURERS SPEC
09.005	SELECTED EAVES GUTTERS FIXED AS PER MANUFACTURERS SPEC
09.014	LYSAGHT - KLIP LOK ROOF SHEETING FIXED AS PER MANUFACTURERS SPEC
11.003	HARDWOOD TIMBER STAIRS - TO COMPLY WITH NCC PART 3.9
11.004	CONCRETE STAIRS - TO COMPLY WITH NCC PART 3.9
12.001	CONTINUOUS HANDRAIL - TO COMPLY WITH AS1628
13.045	GALVANISED SPIRAL DOWNPIPE
14.025	MASTER SWITCH BOARD
17.002	HARDWOOD COLUMN - REFER TO COLUMN SCHEDULE
17.003	STEEL HOLLOW SECTION COLUMN - REFER TO COLUMN SCHEDULE
17.004	UNIVERSAL BEAM COLUMN - REFER TO STRUCTURAL ENGINEERING DETAIL
17.005	UNIVERSAL BEAM RAFTER - REFER TO STRUCTURAL ENGINEERING DETAIL
17.008	PURLINS - REFER TO SPECIFICATION
17.013	HARDWOOD SLEEPER

A04.01 1 : 100

A04.01 1 : 100

A04.01 1 : 100

A04.01 1 : 100



KEYNOTE LEGEND	
CODE	DESCRIPTION
02.024	1800mm HIGH PINE TIMBER FENCE
02.028	CUSTOM FABRICATED GATES - REFER TO DETAIL
03.005	TACTILE FLOOR INDICATOR TO AS1428.41:2009
03.019	SELECTED PAVING
04.004	190 MASONRY BLOCK WALL - RENDER & PAINT FINISH
05.001	JAMES HARDIE 'LINEA' CLADDING - PAINT FINISH CLADDING
05.013	FC SHEETING - PAINT FINISH
05.016	HARDWOOD TIMBER BATTEN SCREEN - REFER TO DETAILS
06.002	SELECTED EXTERNAL SOLID TIMBER DOOR - PAINT FINISH
06.014	ALUMINIUM FRAMED GLASS BIFOLD DOOR
09.001	SELECTED BARGE CAPPING - FIXED AS PER MANUFACTURERS SPEC
09.005	SELECTED EAVES GUTTERS FIXED AS PER MANUFACTURERS SPEC
09.014	LYSAGHT - KLIP LOK ROOF SHEETING FIXED AS PER MANUFACTURERS SPEC
11.002	CONCRETE RAMP 1% FALL - TO COMPLY WITH AS1428
11.004	CONCRETE STAIRS - TO COMPLY WITH NCC PART 3.9
12.001	CONTINUOUS HANDRAIL - TO COMPLY WITH AS1428
13.045	GALVANISED SPIRAL DOWNPIPE
14.025	MASTER SWITCH BOARD
17.002	HARDWOOD COLUMN - REFER TO COLUMN SCHEDULE
17.003	STEEL HOLLOW SECTION COLUMN - REFER TO COLUMN SCHEDULE
17.004	UNIVERSAL BEAM Rafter - REFER TO STRUCTURAL ENGINEERING DETAIL
17.005	UNIVERSAL BEAM RAFTER - REFER TO STRUCTURAL ENGINEERING DETAIL
17.013	HARDWOOD SLEEPER

Copyright © TM ENGLISH DESIGN

The information contained in this document is subject to the terms and conditions of the engagement agreement under which the document was supplied to the recipient.

None of the information within this document and no part of this document is to be disclosed outside the recipient's own organisation without the prior written permission of TM ENGLISH DESIGN.

tl) reproduced in any way without the prior written permission of TM ENGLISH DESIGN.

TIM ENGLISH DESIGN

QCBC# 15266903

REV	DESCRIPTION	DATE	INITIALS
A	PRE-LODGEMENT ISSUE	09/12/22	TJE
B	PRE-LODGEMENT AMENDMENTS	19/01/23	TJE
C	DEVELOPMENT APPROVAL ISSUE	10/02/23	TJE
D	BUILDING APPROVAL	15/05/23	TJE
E	CONSTRUCTION ISSUE	04/07/23	TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD
THE STATION - WESTERN PRECINCT
ELEVATIONS

EST. 2023

THE STATION 4703

TAPHOUSE

DRAWN BY: TJE

CHECKED BY: TJE

DATE: 18/04/23

SCALE: 1: 100

AT A3

DRAWING No: TED00036

SHEET No: A04.02

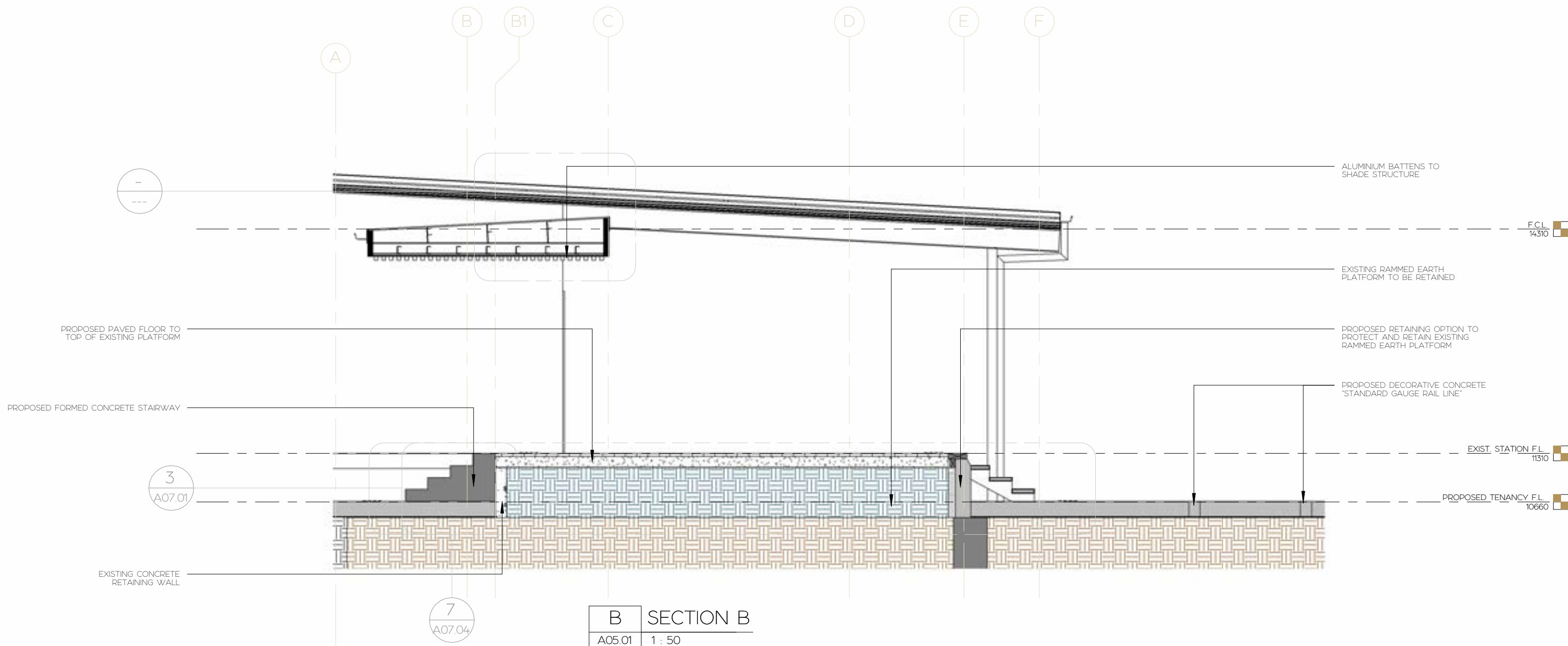
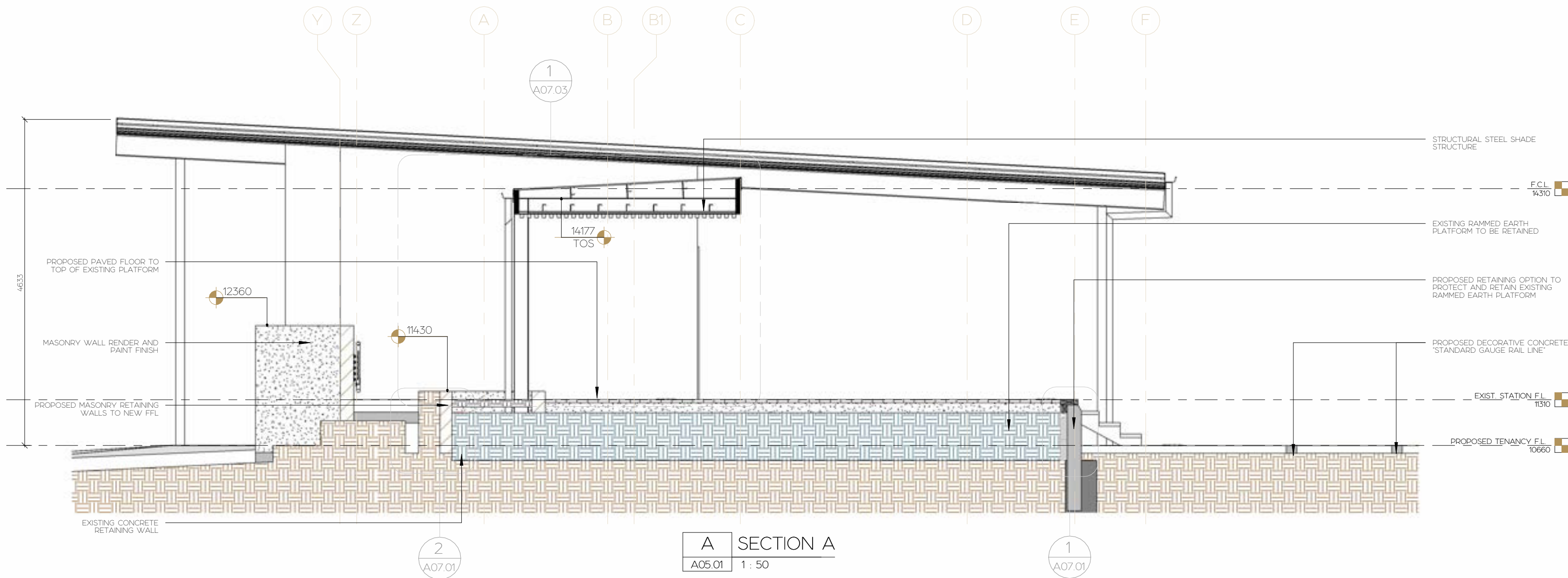
REVISION: E

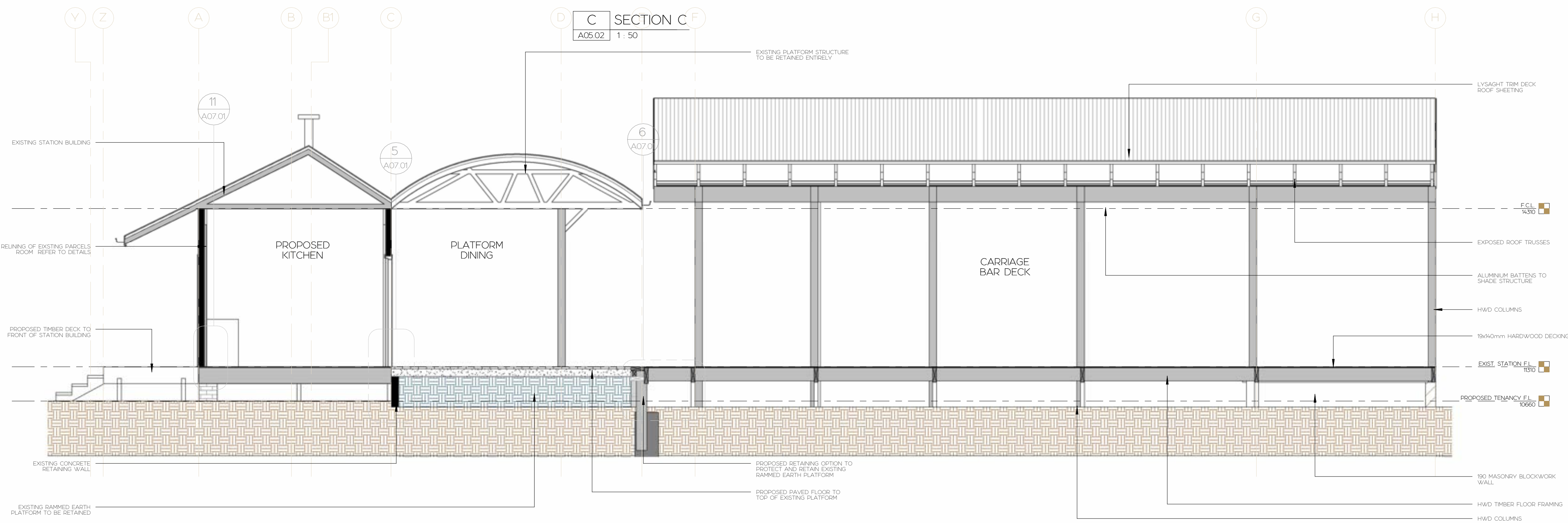
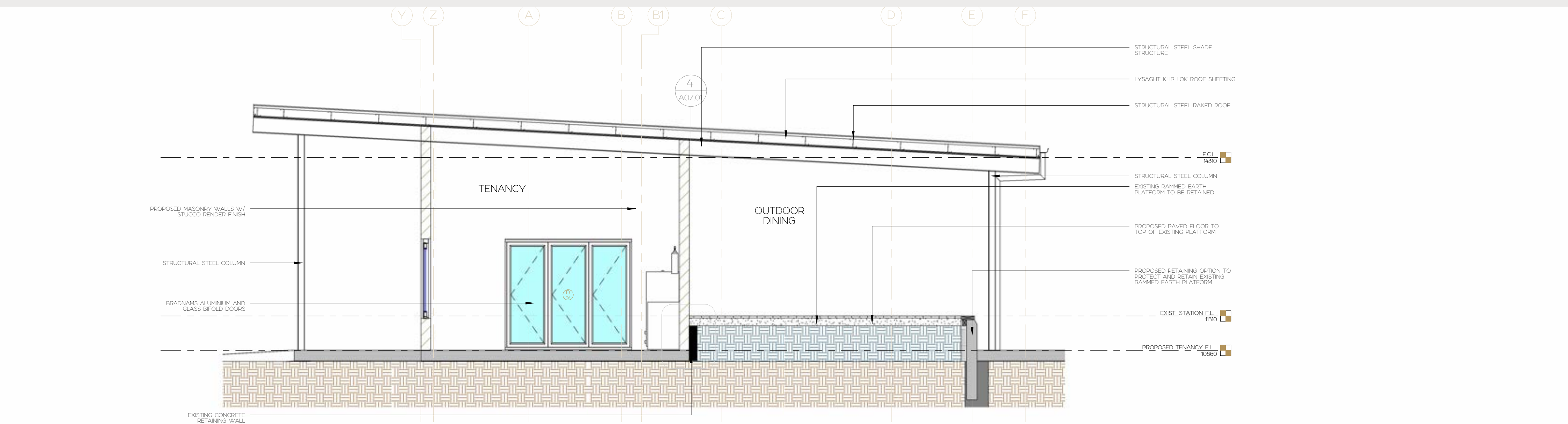
REV	DESCRIPTION	DATE	INITIALS
A	DEVELOPMENT APPROVAL ISSUE	10.02.23	TJE
B	BUILDING APPROVAL	12.05.23	TJE
C	CONSTRUCTION ISSUE	04.07.23	TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD

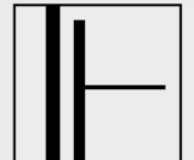
THE STATION - WESTERN PRECINCT

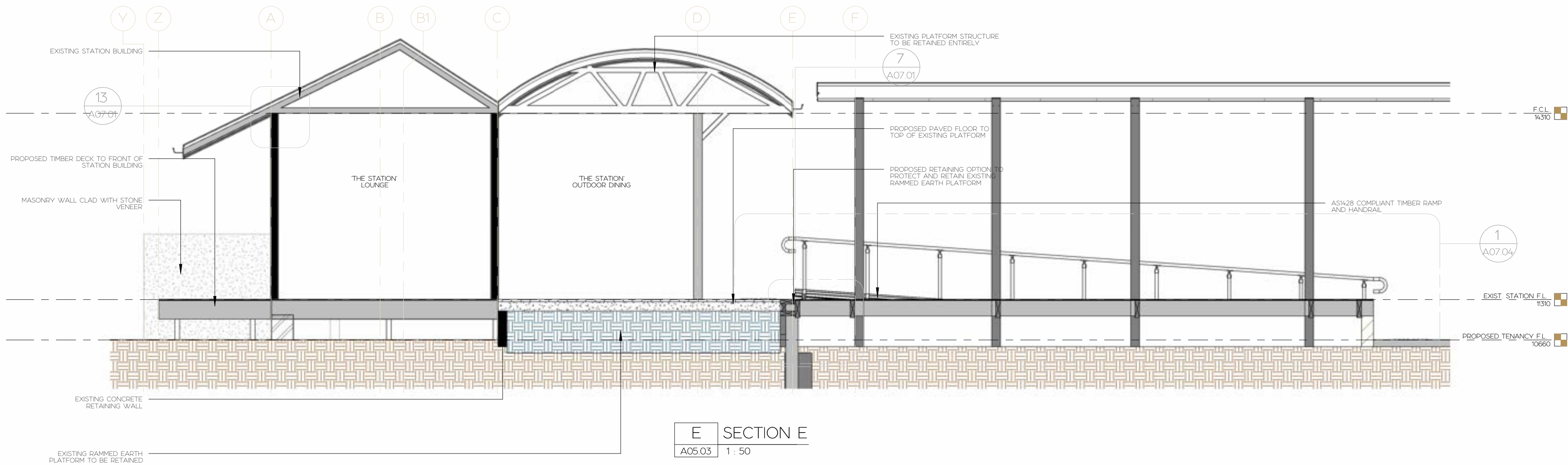
SECTIONS



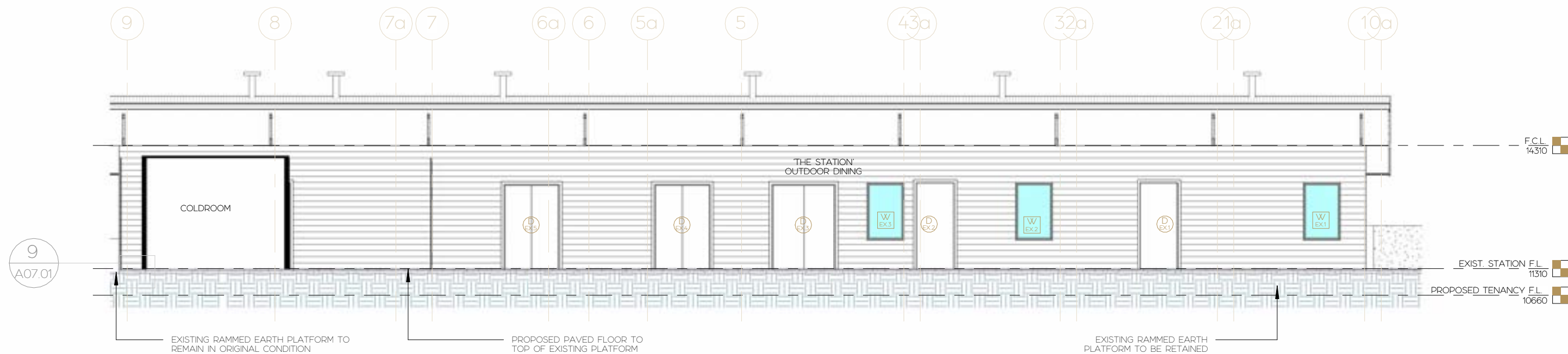


D SECTION D
A05.02 1:50

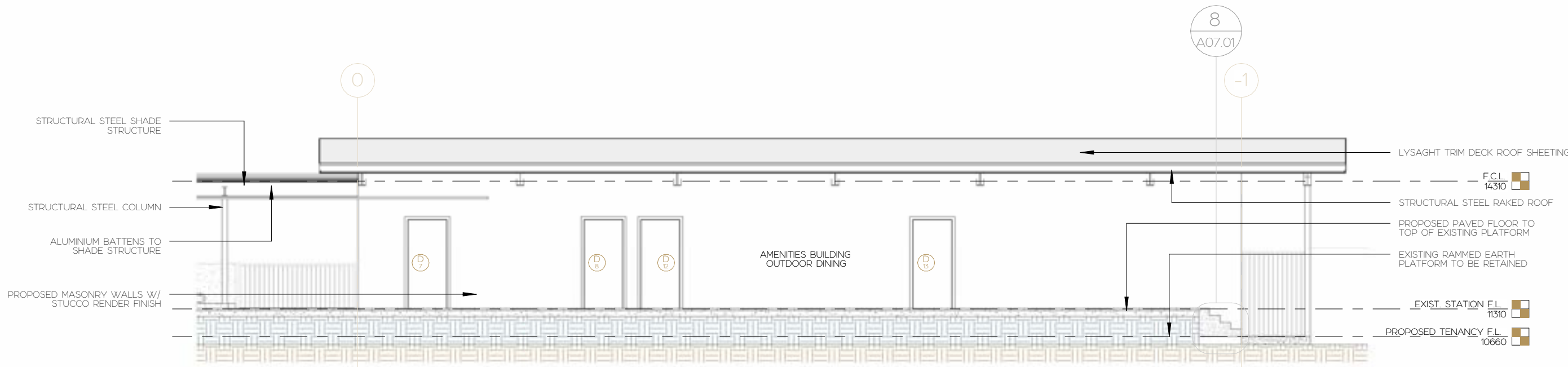




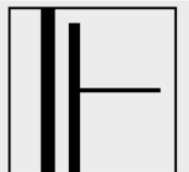
E SECTION E
A05.03 1 : 50

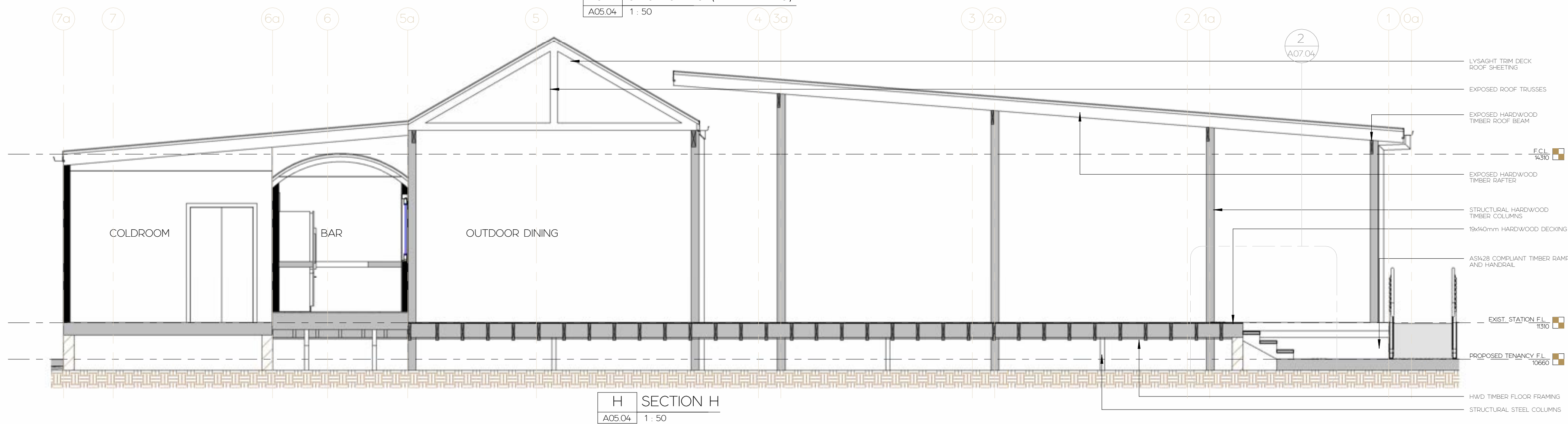
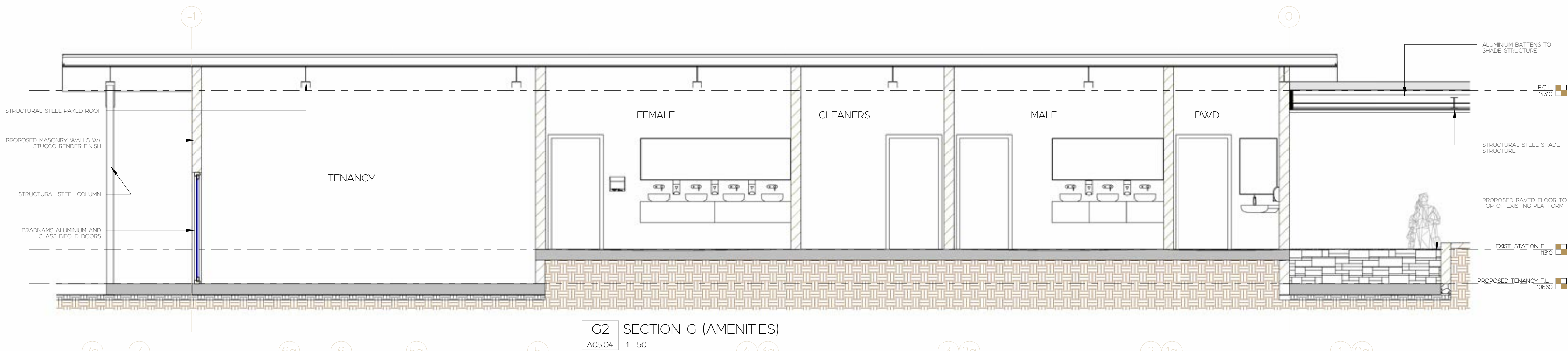


F1 SECTION F (STATION BLDG)
A05.03 1 : 100



F2 SECTION F (AMENITIES)
A05.03 1 : 100







REV	DESCRIPTION	DATE	INITIALS
A	SKETCH DESIGN	20/09/22	TJE
B	SKETCH DESIGN AMENDMENTS	08/11/22	TJE
C	SKETCH DESIGN AMENDMENTS	22/11/22	TJE
D	PRE-LODGE MENT ISSUE	09/12/22	TJE
E	PRE-LODGE MENT AMENDMENTS	19/02/23	TJE
F	DEVELOPMENT APPROVAL ISSUE	10/02/23	TJE
G	BUILDING APPROVAL	12/05/23	TJE
H	CONSTRUCTION ISSUE	04/07/23	TJE

**PROPOSED BAR, RESTAURANT &
AMENITIES**
LIMESTONE PACIFIC PTY LTD

THE STATION - WESTERN PRECINCT

3D VIEWS



REV	DESCRIPTION	DATE	INITIALS
A	SKETCH DESIGN	23/03/22	TJE
B	SKETCH DESIGN AMENDMENTS	08/11/22	TJE
C	SKETCH DESIGN AMENDMENTS	22/11/22	TJE
D	PRE-LODGE/MENT ISSUE	09/12/22	TJE
E	PRE-LODGE/MENT AMENDMENTS	19/02/23	TJE
F	DEVELOPMENT APPROVAL ISSUE	10/02/23	TJE
G	BUILDING APPROVAL	12/05/23	TJE
H	CONSTRUCTION ISSUE	04/07/23	TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD

THE STATION - WESTERN PRECINCT

3D VIEWS



DRAWN BY: TJE
SCALE:
CHECKED BY: TJE
DATE: 18/04/23

AT A3
DRAWING No: TED000036
SHEET No: A06.02
REVISION: H

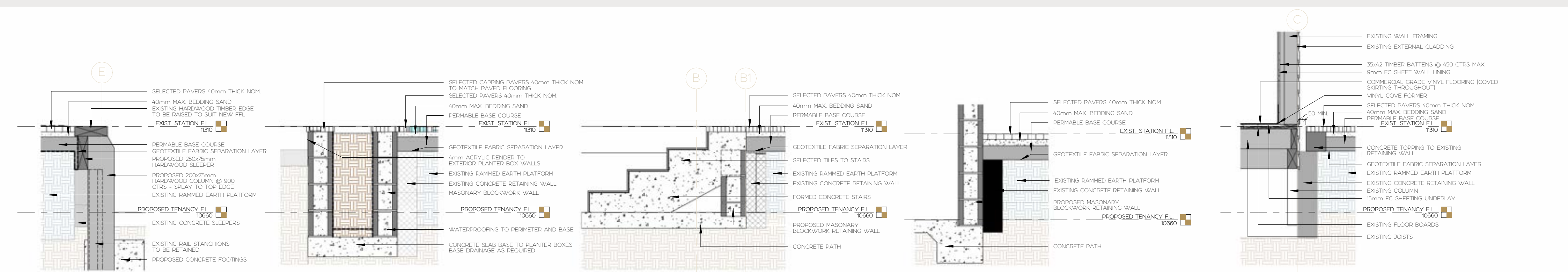
REV	DESCRIPTION	DATE	INITIALS
A	SKETCH DESIGN	29/09/22	TJE
B	SKETCH DESIGN AMENDMENTS	08/11/22	TJE
C	SKETCH DESIGN AMENDMENTS	22/11/22	TJE
D	PRE-LODGE/MENT ISSUE	09/12/22	TJE
E	PRE-LODGE/MENT AMENDMENTS	19/01/23	TJE
F	DEVELOPMENT APPROVAL ISSUE	10/02/23	TJE
G	BUILDING APPROVAL	12/05/23	TJE
H	CONSTRUCTION ISSUE	04/07/23	TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD

THE STATION - WESTERN PRECINCT

3D VIEWS





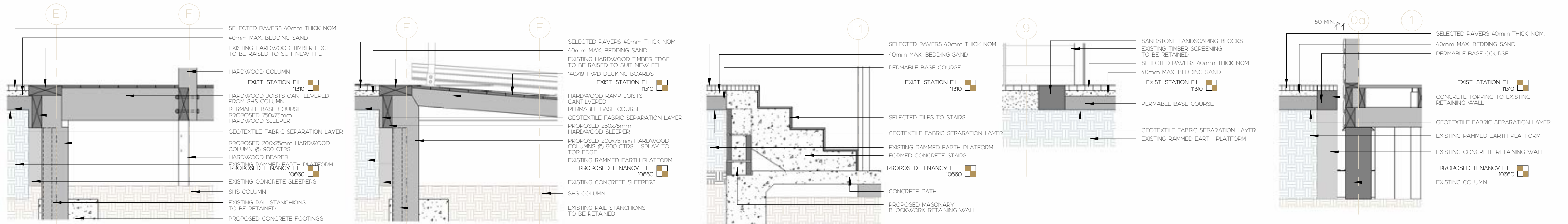
1 DETAIL 1
A07.01 1 : 20

2 DETAIL 2
A07.01 1 : 20

3 DETAIL 3
A07.01 1 : 20

4 DETAIL 4
A07.01 1 : 20

5 DETAIL 5
A07.01 1 : 20



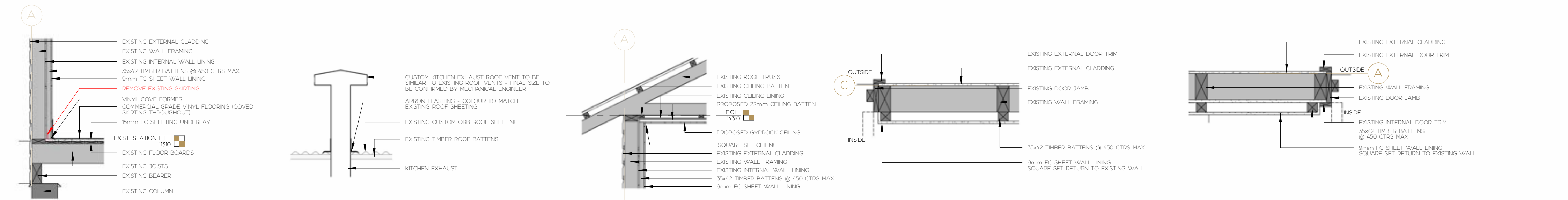
6 DETAIL 6
A07.01 1 : 20

7 DETAIL 7
A07.01 1 : 20

8 DETAIL 8
A07.01 1 : 20

9 DETAIL 9
A07.01 1 : 20

10 DETAIL 10
A07.01 1 : 20



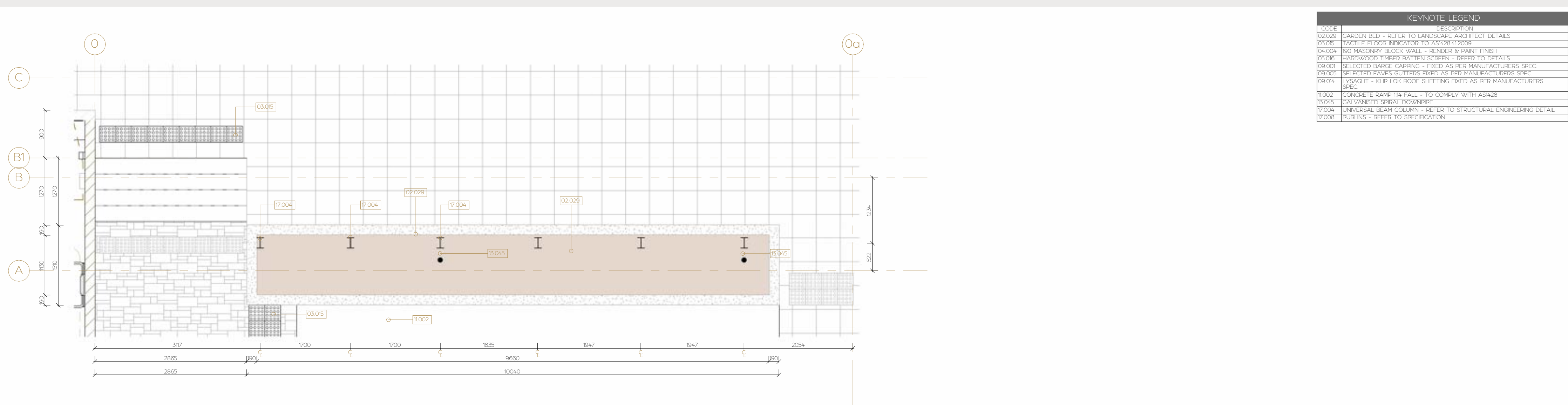
11 DETAIL 11
A07.01 1 : 20

12 DETAIL 12
A07.01 1 : 20

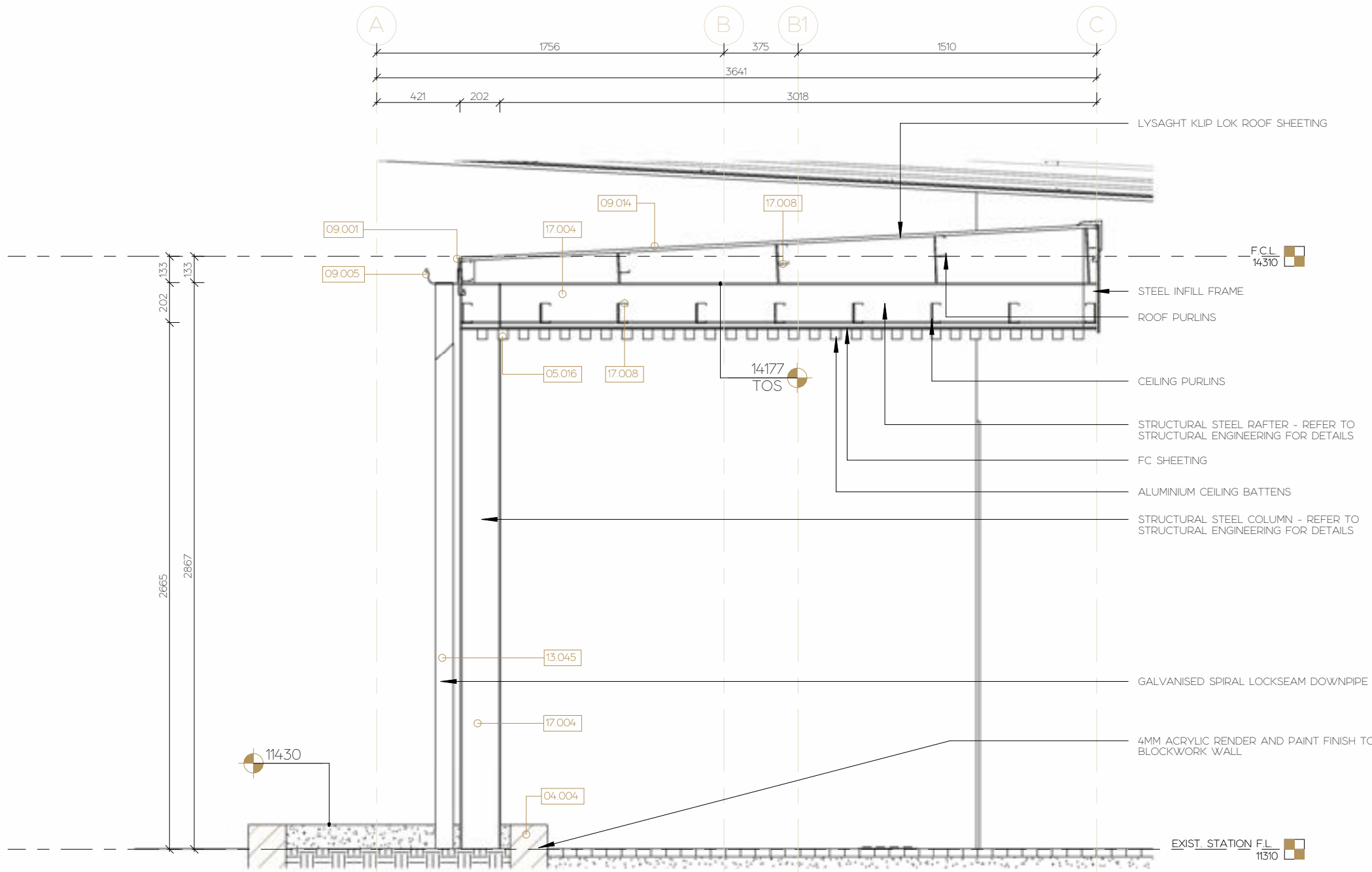
13 DETAIL 13
A07.01 1 : 20

14 DETAIL 14
A07.01 1 : 10

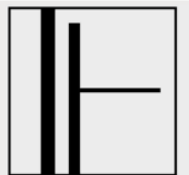
15 DETAIL 15
A07.01 1 : 10

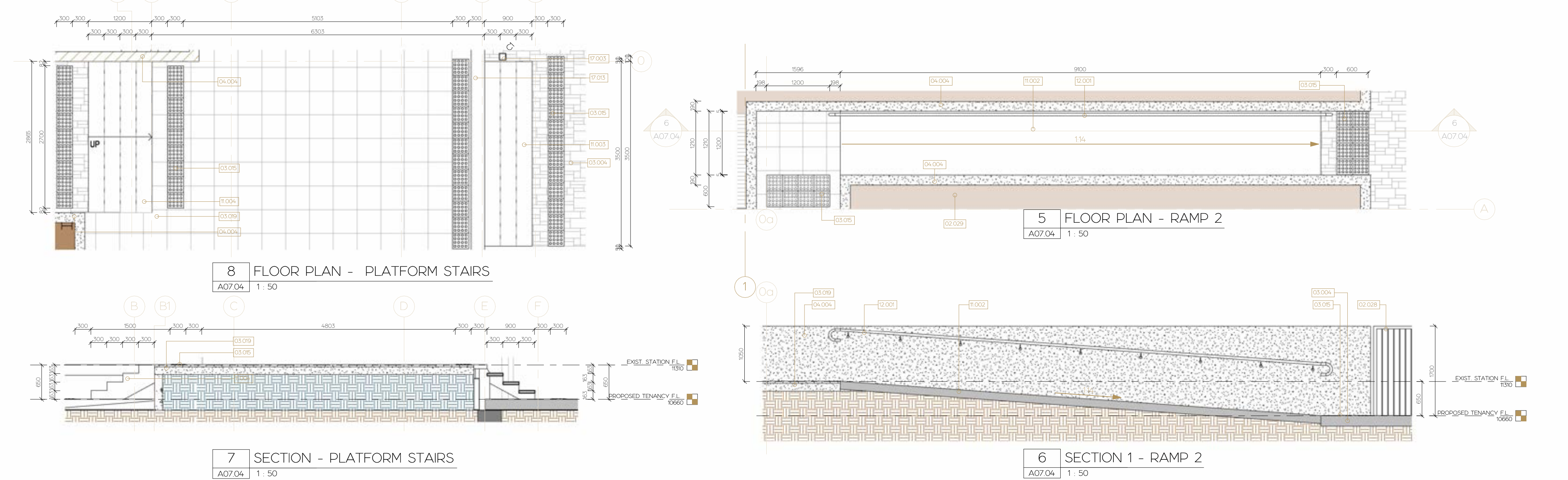
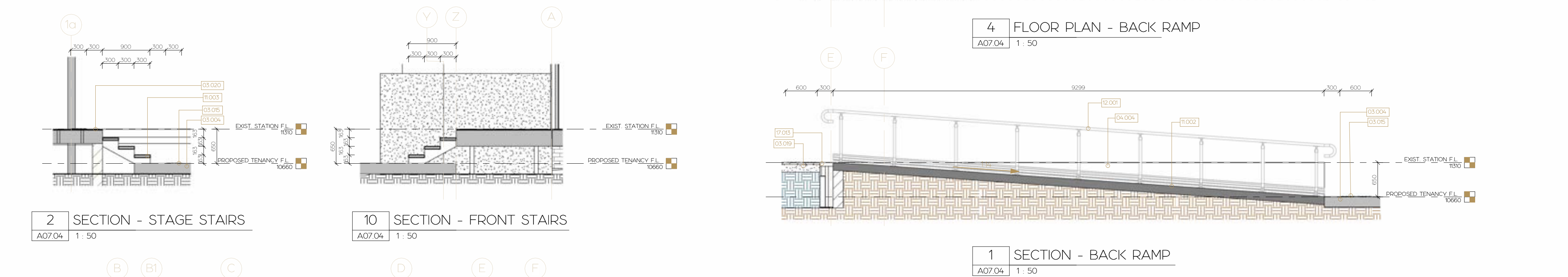
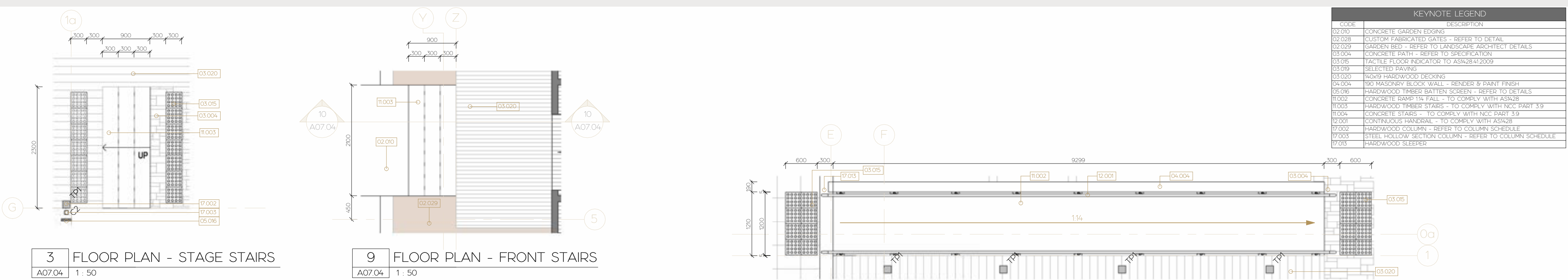


A FLOOR PLAN - AWNING CALLOUT
A07.03 1 : 50



1 SECTION A - TYPICAL CALLOUT
A07.03 1 : 25

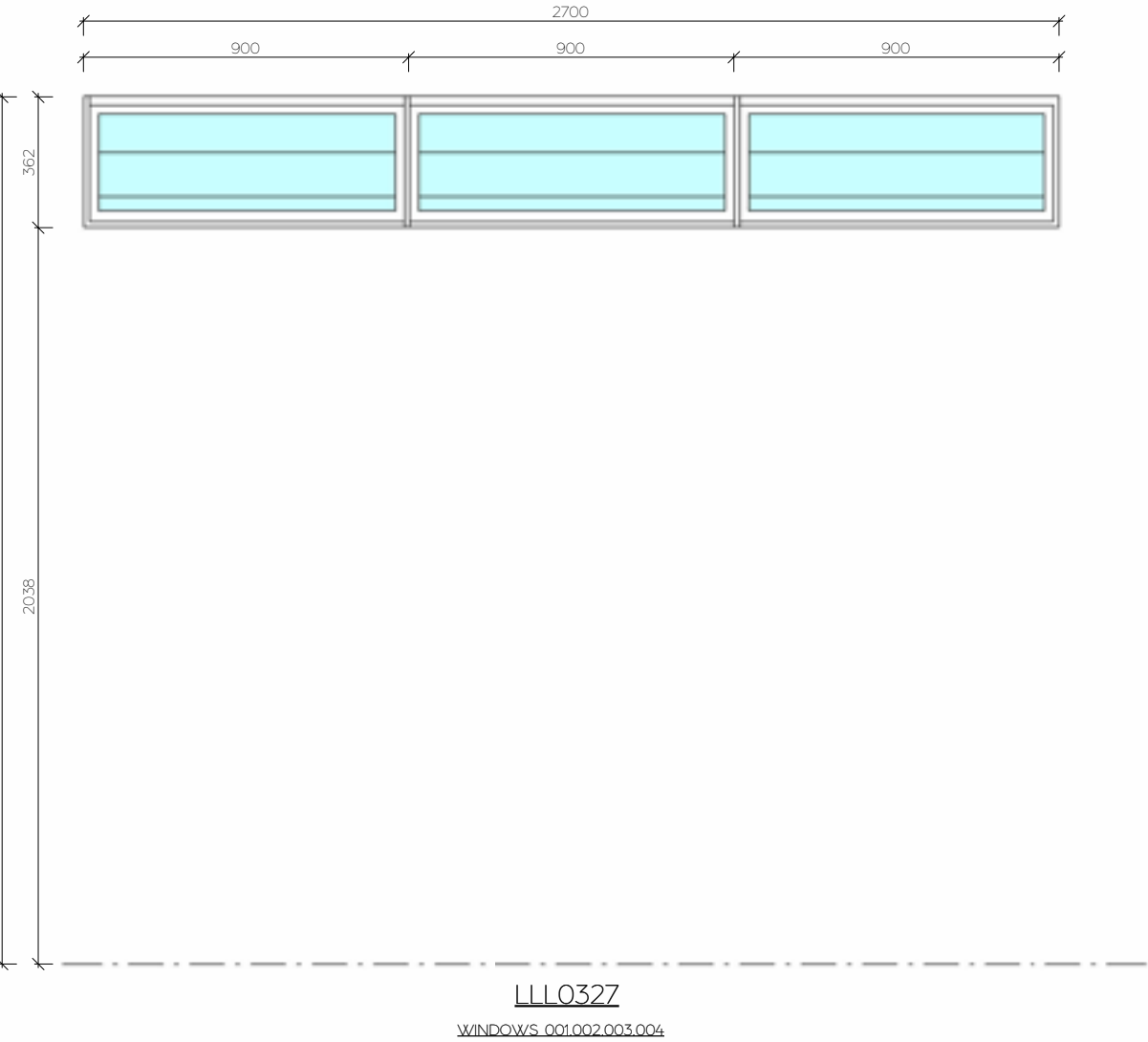




[illegible][illegible]

1	STAGE CALLOUT FLOOR PLAN
A07.05	1 : 50

WINDOW SCHEDULE					
WINDOW NO.	HEIGHT	WIDTH	FINISH	GLAZING	EXTERNAL
1	362	1810	ULTRA SILVER GLOSS	OPAQUE	SECURITY SCREEN
2	362	2710	ULTRA SILVER GLOSS	OPAQUE	SECURITY SCREEN
3	362	2410	ULTRA SILVER GLOSS	OPAQUE	SECURITY SCREEN
4	362	2710	ULTRA SILVER GLOSS	OPAQUE	SECURITY SCREEN
EX.1	1400	900	EXISTING	EXISTING	EXISTING
EX.2	1400	900	EXISTING	EXISTING	EXISTING
EX.3	1400	900	EXISTING	EXISTING	EXISTING
EX.4	921	610	EXISTING	EXISTING	EXISTING
EX.5	1200	610	EXISTING	EXISTING	EXISTING
EX.6	541	610	EXISTING	EXISTING	EXISTING
EX.7	1200	700	EXISTING	EXISTING	EXISTING
EX.8	1200	900	EXISTING	EXISTING	EXISTING
EX.9	900	1600	EXISTING	EXISTING	EXISTING
EX.10	1200	700	EXISTING	EXISTING	EXISTING
EX.11	400	670	EXISTING	EXISTING	EXISTING



REV	DESCRIPTION	DATE	INITIALS
A	BUILDING APPROVAL	13.05.23	TJE
B	CONSTRUCTION ISSUE	04.07.23	TJE

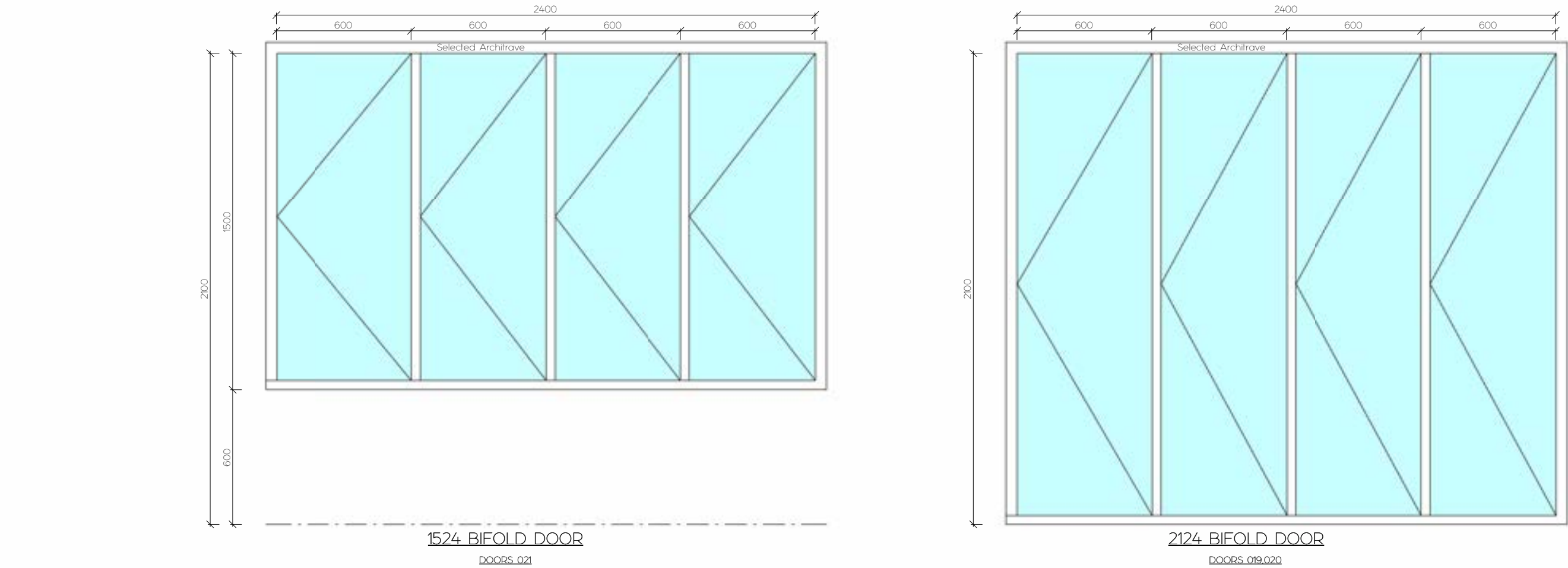
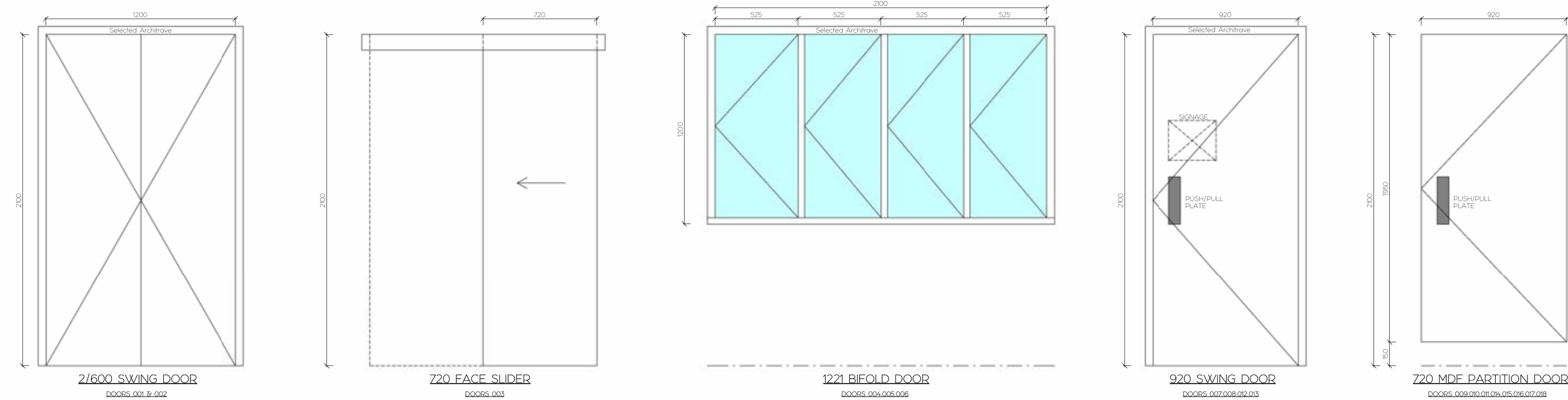
PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD

THE STATION - WESTERN PRECINCT

WINDOW SCHEDULE & ELEVATIONS



DOOR SCHEDULE									
DOOR NO.	HEIGHT	WIDTH	TYPE	DOOR FINISH	FRAME TYPE	DOOR FURNITURE	HINGES	CLOSER	DOOR STOP
1	2100	1200	2/SWING DOOR	PAINT FINISH - SOLID CORE	METAL	LOCK SET	3 EACH SIDE	YES	YES
2	2100	1200	2/SWING DOOR	PAINT FINISH - SOLID CORE	METAL	LOCK SET	3 EACH SIDE	YES	YES
3	2100	720	FACE SLIDER	PAINT FINISH - SOLID CORE	TIMBER	PASSAGE SET	N/A	N/A	N/A
4	1200	2100	BIFOLD	GLASS & ALUMINIUM	ALUMINIUM	LOCK SET	PER MANUFACTURER	N/A	LATCH
5	1200	2100	BIFOLD	GLASS & ALUMINIUM	ALUMINIUM	LOCK SET	PER MANUFACTURER	N/A	LATCH
6	1200	2100	BIFOLD	GLASS & ALUMINIUM	ALUMINIUM	LOCK SET	PER MANUFACTURER	N/A	LATCH
7	2100	920	SWING DOOR	PAINT FINISH - SOLID CORE	METAL	LOCK SET	3	YES	YES
8	2100	920	SWING DOOR	PAINT FINISH - SOLID CORE	METAL	LOCK SET	3	YES	YES
9	1950	720	SWING DOOR	MDF PANEL	MDF	PRIVACY SET	3	NO	CUSHION DOOR STOP
10	1950	720	SWING DOOR	MDF PANEL	MDF	PRIVACY SET	3	NO	CUSHION DOOR STOP
11	1950	720	SWING DOOR	MDF PANEL	MDF	PRIVACY SET	3	NO	CUSHION DOOR STOP
12	2100	920	SWING DOOR	PAINT FINISH - SOLID CORE	METAL	LOCK SET	3	YES	YES
13	2100	920	SWING DOOR	PAINT FINISH - SOLID CORE	METAL	LOCK SET	3	YES	YES
14	1950	720	SWING DOOR	MDF PANEL	MDF	PRIVACY SET	3	NO	CUSHION DOOR STOP
15	1950	720	SWING DOOR	MDF PANEL	MDF	PRIVACY SET	3	NO	CUSHION DOOR STOP
16	1950	720	SWING DOOR	MDF PANEL	MDF	PRIVACY SET	3	NO	CUSHION DOOR STOP
17	1950	720	SWING DOOR	MDF PANEL	MDF	PRIVACY SET	3	NO	CUSHION DOOR STOP
18	1950	720	SWING DOOR	MDF PANEL	MDF	PRIVACY SET	3	NO	CUSHION DOOR STOP
19	2100	2400	BIFOLD	GLASS & ALUMINIUM	ALUMINIUM	LOCK SET	PER MANUFACTURER	N/A	LATCH
20	2100	2400	BIFOLD	GLASS & ALUMINIUM	ALUMINIUM	LOCK SET	PER MANUFACTURER	N/A	LATCH
21	1500	2400	BIFOLD	GLASS & ALUMINIUM	ALUMINIUM	LOCK SET	PER MANUFACTURER	N/A	LATCH
EX.1	2100	920	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
EX.2	2100	920	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
EX.3	2100	1640	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
EX.4	2100	1440	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
EX.5	2100	1440	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
EX.6	2100	920	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
EX.7	2100	920	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
EX.8	2100	720	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
EX.9	2100	720	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
EX.10	2100	1640	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING
EX.11	2100	1440	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING



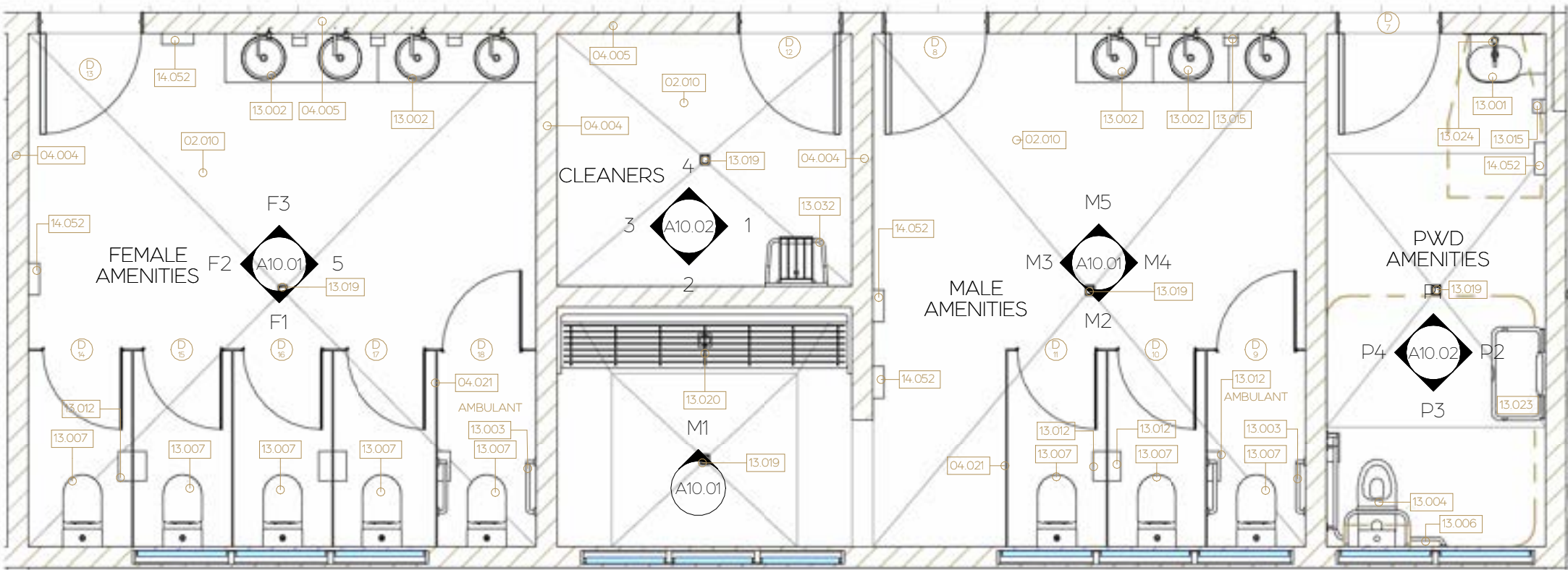
REV	DESCRIPTION	DATE	INITIALS
A	BUILDING APPROVAL	12/05/23	TJE
B	CONSTRUCTION ISSUE	04/07/23	TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD

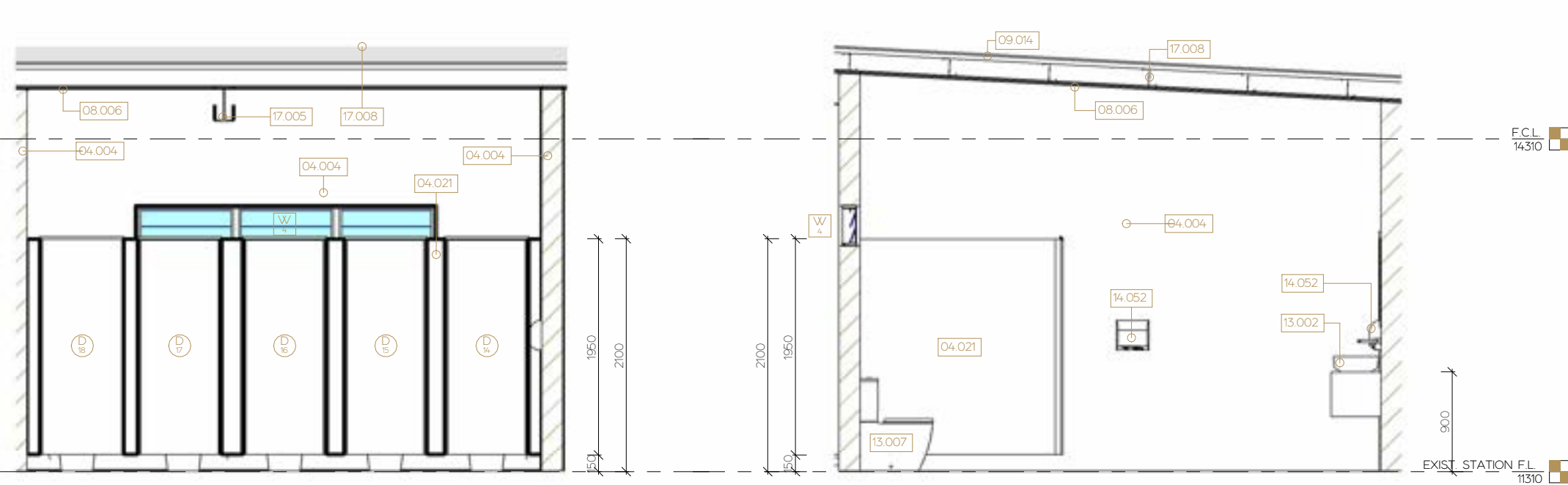
THE STATION - WESTERN PRECINCT

DOOR SCHEDULE & ELEVATIONS



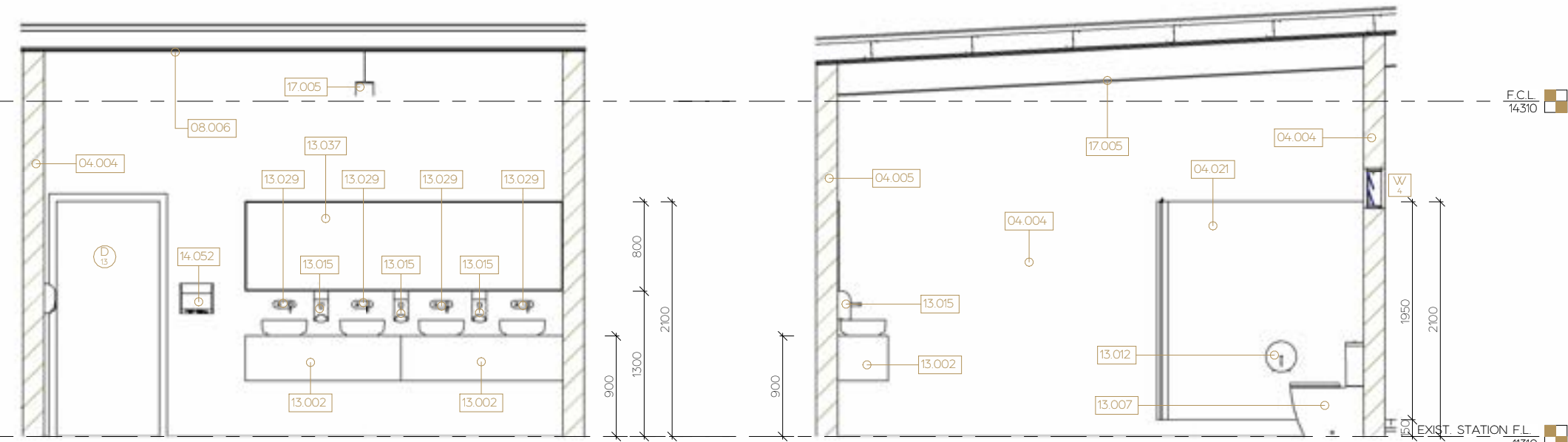


A FLOOR LEVEL - WET AREA CALLOUT
A10.01 1 : 50



F1 FEMALE AMENITIES - ELEVATION 1
A10.01 1 : 50

F2 FEMALE AMENITIES - ELEVATION 2
A10.01 1 : 50



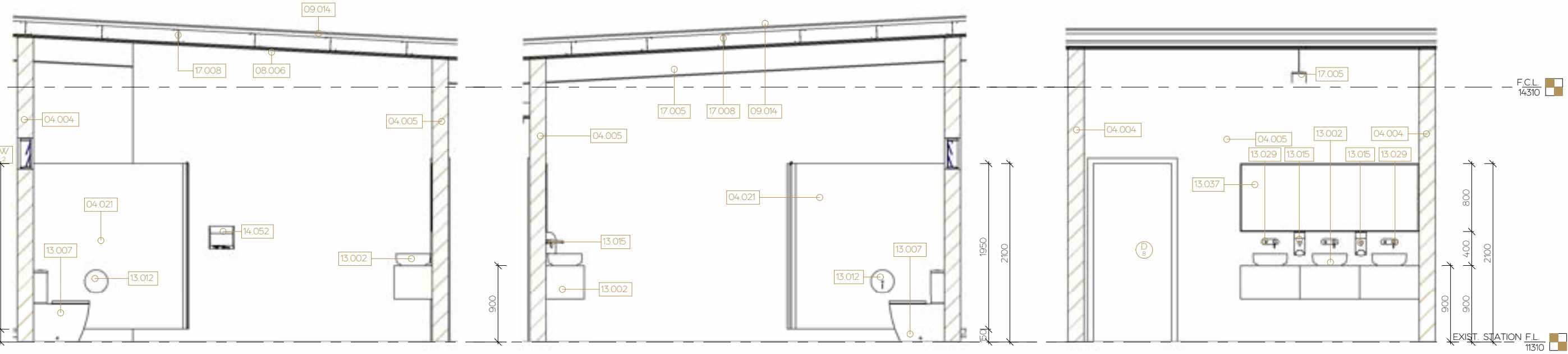
F3 FEMALE AMENITIES - ELEVATION 3
A10.01 1 : 50

5 ELEVATION 4 - FEMALE AMENITIES
A10.01 1 : 50



M1 MALE AMENITIES - ELEVATION 1
A10.01 1 : 50

M2 MALE AMENITIES - ELEVATION 2
A10.01 1 : 50



M3 MALE AMENITIES - ELEVATION 3
A10.01 1 : 50

M4 MALE AMENITIES - ELEVATION 4
A10.01 1 : 50

M5 MALE AMENITIES - ELEVATION 5
A10.01 1 : 50

KEYNOTE LEGEND	
CODE	DESCRIPTION
02.010	CONCRETE GARDEN EDGING
04.004	190 MASONRY BLOCK WALL - RENDER & PAINT FINISH
04.005	190 REINFORCED BLOCKWORK WALL - HORNE FINISH
04.021	13mm LAMINATED MDF BOARD PARTITION WALL
08.006	FC SHEET CEILING
09.014	LYSAGHT - KLIP LOK ROOF SHEETING FIXED AS PER MANUFACTURERS SPEC
13.001	AS1428 COMPLIANT BASIN - REFER TO SPECIFICATION
13.002	BASIN - REFER TO SPECIFICATION
13.003	AMBULANT GRAB RAIL - REFER TO SPECIFICATION
13.004	AS1428 COMPLIANT TOILET - REFER TO SPECIFICATION
13.006	DISABLED GRAB RAIL - REFER TO SPECIFICATION
13.007	TOILET - REFER TO SPECIFICATION
13.012	TOILET ROLL HOLDER - REFER TO SPECIFICATION
13.015	SOAP DISPENSER
13.019	FLOOR WASTE
13.020	URINAL - REFER TO SPECIFICATION
13.023	BABY CHANGE STATION - REFER TO SPECIFICATION
13.024	SELECTED TAP - REFER TO SPECIFICATION
13.029	BATH MIXER TAPS - REFER SPECIFICATIONS
13.032	CLEANERS SINK - BY OTHERS
13.037	SELECTED MIRROR
14.052	AUTOMATIC HAND DRYER - REFER TO SPEC
17.005	UNIVERSAL BEAM RAFTER - REFER TO STRUCTURAL ENGINEERING DETAIL
17.008	PURLINS - REFER TO SPECIFICATION

KEYNOTE LEGEND	
CODE	DESCRIPTION
02.010	CONCRETE GARDEN EDGING
04.004	190 MASONRY BLOCK WALL - RENDER & PAINT FINISH
04.005	190 REINFORCED BLOCKWORK WALL - HONED FINISH
06.002	SELECTED EXTERNAL SOLID TIMBER DOOR - PAINT FINISH
08.006	FC SHEET CEILING
09.014	LYSAGHT - KLIP LOK ROOF SHEETING FIXED AS PER MANUFACTURERS SPEC.
13.001	AS1428 COMPLIANT BASIN - REFER TO SPECIFICATION
13.004	AS1428 COMPLIANT TOILET - REFER TO SPECIFICATION
13.006	DISABLED GRAB RAIL - REFER TO SPECIFICATION
13.012	TOILET ROLL HOLDER - REFER TO SPECIFICATION
13.015	SOAP DISPENSER
13.023	BABY CHANGE STATION - REFER TO SPECIFICATION
13.032	CLEANERS SINK - BY OTHERS
13.037	SELECTED MIRROR
14.052	AUTOMATIC HAND DRYER - REFER TO SPEC.
17.005	UNIVERSAL BEAM RAFTER - REFER TO STRUCTURAL ENGINEERING DETAIL
17.008	PURLINS - REFER TO SPECIFICATION

Copyright © TM ENGLISH DESIGN
The information contained in this document is subject to the terms and conditions of the engagement agreement under which the documentation was supplied to the recipient.
None of the information within this document and no part of this document shall be:
a) disclosed outside the recipient's own organisation
b) reproduced in any way without the prior written permission of TM ENGLISH DESIGN

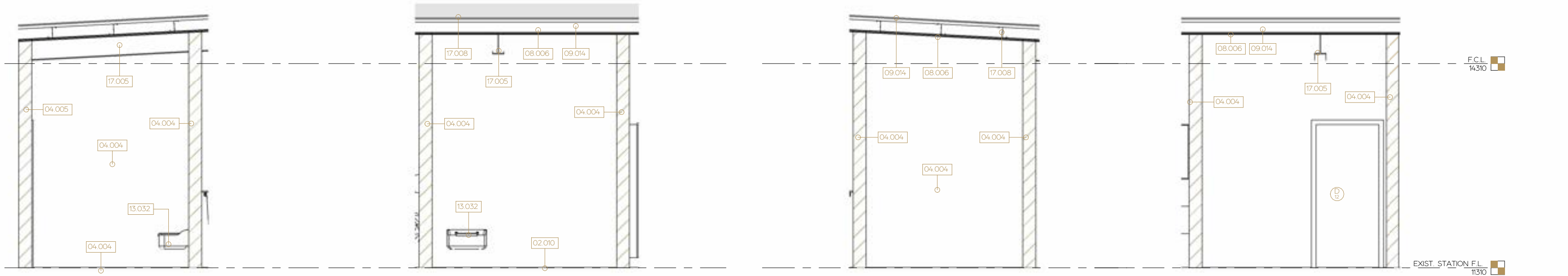


REV	DESCRIPTION	DATE	INITIALS
A	CONSTRUCTION ISSUE	04.07.23	TJE

PROPOSED BAR, RESTAURANT & AMENITIES
LIMESTONE PACIFIC PTY LTD

THE STATION - WESTERN PRECINCT

WET AREA ELEVATIONS

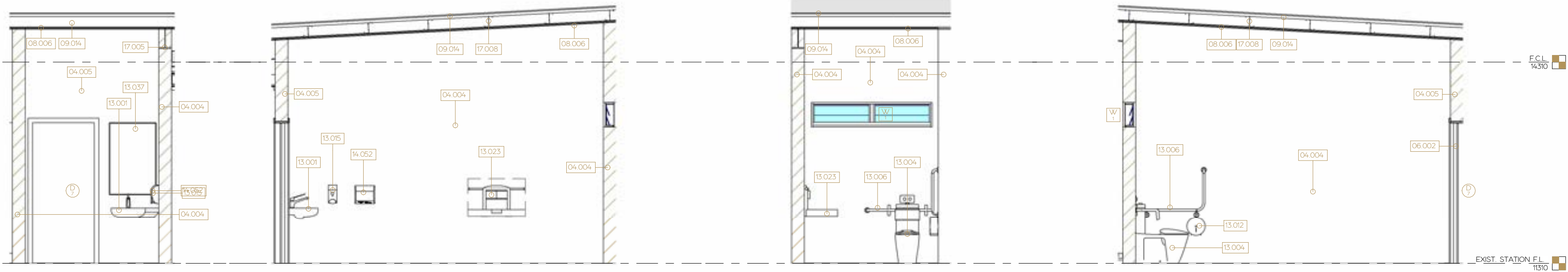


1 CLEANERS ELEVATION 1
A10.02 1 : 50

2 CLEANERS ELEVATION 2
A10.02 1 : 50

3 CLEANERS ELEVATION 3
A10.02 1 : 50

4 CLEANERS ELEVATION 4
A10.02 1 : 50



P1 PWD - ELEVATION 1
A10.02 1 : 50

P2 PWD - ELEVATION 2
A10.02 1 : 50

P3 PWD - ELEVATION 3
A10.02 1 : 50

P4 PWD - ELEVATION 4
A10.02 1 : 50



DRAWN BY: TJE	CHECKED BY: TJE	DATE: 18/04/23
SCALE: 1 : 50	AT A3	
DRAWING No: TED00036	SHEET No: A10.02	REVISION: A